

Massachusetts Department of Environmental Protection
Bureau of Water Resources - Wetlands

WPA Form 1- Request for Determination of Applicability Holden

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

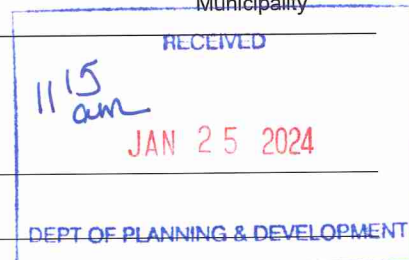
Municipality

A. General Information

Important:
When filling out
forms on the
computer, use only
the tab key to move
your cursor - do not
use the return key.



1. Applicant:
- Daniel Hannoush
First Name Last Name
166 South Boulevard, Unit C
Address
West Springfield MA 01089
City/Town State Zip Code
(413) 313-5067
Phone Number danny@ddmproperty.com
Email Address
2. Property Owner (if different from Applicant):
- Leinonen Realty, Inc
First Name Last Name
54R Jones Road
Address
Spencer MA 01562
City/Town State Zip Code
(508) 450-8850
Phone Number
Email Address (if known)
3. Representative (if any)
- Kevin Solli, PE
First Name Last Name
Solli Engineering, LLC
Company Name
11 Vanderbilt Avenue
Address
Norwood MA 02062
City/Town State Zip Code
(781) 352-8491
Phone Number kevin@sollllc.com
Email Address (if known)



B. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):
- 788 Main Street Holden
Street Address City/Town
42.34242 -71.84396
Latitude (Decimal Degrees Format with 5 digits after decimal Longitude (Decimal Degrees Format with 5 digits after
e.g. XX.XXXXXX) decimal e.g. -XX.XXXXXX)
175 35
Assessors' Map Number Assessors' Lot/Parcel Number
- b. Area Description (use additional paper, if necessary):
- Commercially developed property - Relatively level area throughout developed area with sloped areas to the rear
- c. Plan and/or Map Reference(s): (use additional paper if necessary)
- RDA Plan 01/24/2024
Title Date
Plan of Land - 788 Main Street, Holden, MA (Prepared by Northeast Survey Consultants) 08/28/2023
Title Date

[How to find Latitude
and Longitude](#)

[and how to convert
to decimal degrees](#)



B. Project Description (cont.)

2. a. Activity/Work Description (use additional paper and/or provide plan(s) of Activity, if necessary):

The Applicant, DDMNS Realty, LLC, is proposing to demolish the existing commercial building on the property of 788 Main Street in Holden, MA, and construct a 2,410+/- SF, slab on grade, coffee shop with a drive-through, and interior and patio seating. The redevelopment will include various site improvements including associated parking, drives, drainage improvements, utilities, landscaping, and lighting features to support the proposed use. For more information of the proposed development refer to the Project Narrative & Stormwater Report submitted in conjunction with this RDA.

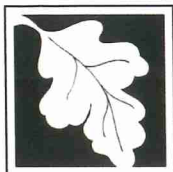
- b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

N/A

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- ☐ Single family house on a lot recorded on or before 8/1/96
- ☐ Single family house on a lot recorded after 8/1/96
- ☐ Expansion of an existing structure on a lot recorded after 8/1/96
- ☐ Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- ☐ New agriculture or aquaculture project
- ☐ Public project where funds were appropriated prior to 8/7/96
- ☐ Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- ☐ Residential subdivision; institutional, industrial, or commercial project
- ☐ Municipal project
- ☐ District, county, state, or federal government project
- ☐ Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

- b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



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C. Determinations

1. I request the Holden Conservation Commission make the following determination(s). Check any that apply:

- ☐ a. whether the **area** depicted on plan(s) and/or map(s) referenced above is an area subject to jurisdiction of the Wetlands Protection Act.
- ☐ b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced above are accurately delineated.
- ☒ c. whether the **Activities** depicted on plan(s) referenced above is subject to the Wetlands Protection Act and its regulations.
- ☒ d. whether the area and/or Activities depicted on plan(s) referenced above is subject to the jurisdiction of any **municipal wetlands' ordinance** or **bylaw** of:

Town of Holden Wetland Bylaw and Regulations

Name of Municipality

- ☐ e. whether the following **scope of alternatives** is adequate for Activities in the Riverfront Area as depicted on referenced plan(s).

D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

[Signature]
Signature of Applicant

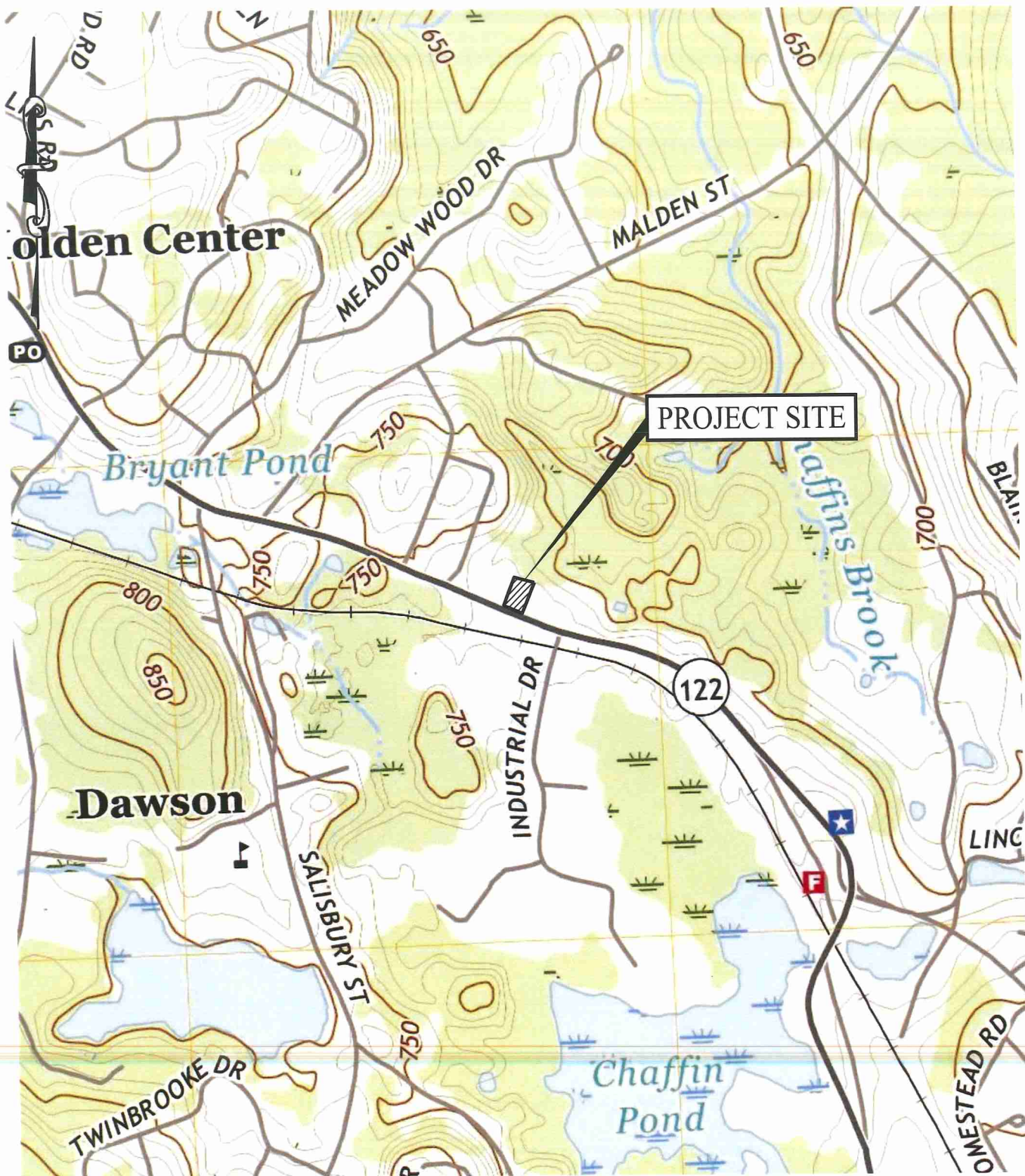
01/24/2024

Date

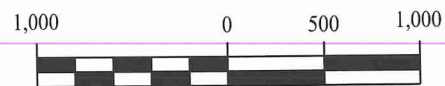
[Signature]
Signature of Representative (if any)

01/24/2024

Date



NOTE: BASE MAP INFORMATION TAKEN FROM 2021 USGS
 WORCESTER NORTH QUADRANGLE - MASSACHUSETTS -
 WORCESTER COUNTY - 7.5 MINUTE SERIES



11 Vanderbilt Ave, Norwood, MA 02062
 T: (781) 352-8491 | F: (203) 880-9695

USGS SITE LOCATION MAP

788 MAIN STREET
 HOLDEN, MASSACHUSETTS

Project #:	23204001
Plan Date:	01/24/24
Scale:	1" = 1,000'
Figure:	1



MA Places (Town)
Fire Station
Police Station
Town Hall
Public Library
School
Parcels with Orthos



The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the use or misrepresentation of the data.