

USGS MAP

SCALE: 1" = 1,000'

PROPOSED COFFEE SHOP COMMERCIAL REDEVELOPMENT

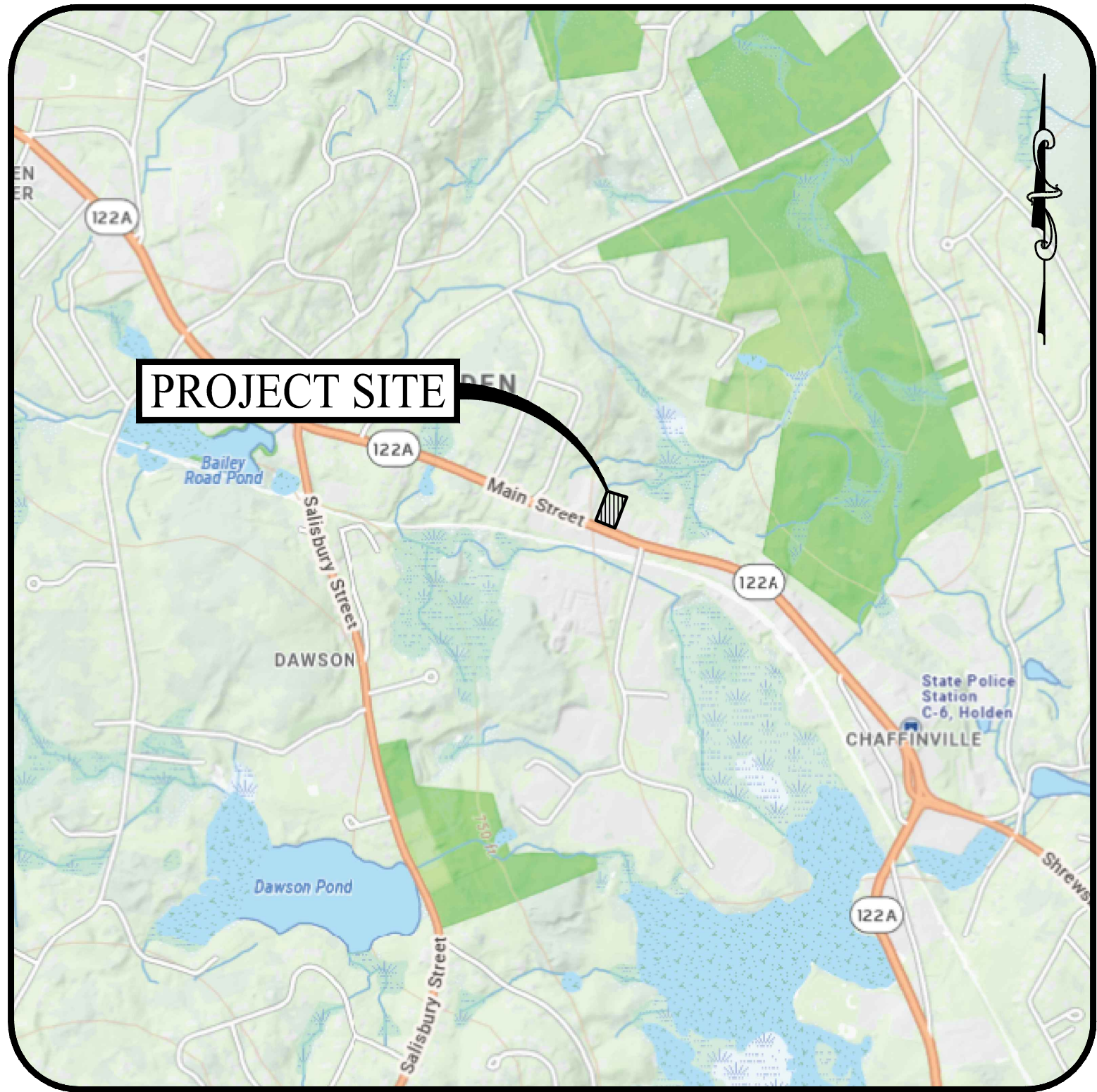
788 MAIN STREET
HOLDEN, MASSACHUSETTS 01520

PERMITTING PLAN SET

PREPARED FOR:

DDMNS REALTY, LLC

160 WEST BLVD, UNIT C
WEST SPRINGFIELD, MASSACHUSETTS



LOCATION MAP

SCALE: 1" = 1,000'

CURRENT OWNER

LEINONEN REALTY, INC.
54R JONES ROAD
SPENCER, MASSACHUSETTS 01562

APPLICANT

DDMNS REALTY, LLC
DANIEL HANNOUNSH / MANAGER
166 SOUTH BLVD, UNIT C
WEST SPRINGFIELD, MASSACHUSETTS 01089
(413) 313-5067
DANNY@DDMPROPERTY.COM

PROPERTY INFORMATION

ADDRESS: 788 MAIN STREET
TOWN OF HOLDEN
MASSACHUSETTS 01520
3949
OWNER: LEINONEN REALTY, INC.
DEED: BK 16370 PG 0174
MBLU: 175 / 35

ENGINEER OF RECORD

KEVIN SOLLI, P.E., PTOE, CPESC, LEED AP BD+C
(ENGINEER OF RECORD)
LICENSE NO. 51952
SOLLI ENGINEERING, LLC
11 VANDERBILT AVENUE, SUITE 240
NORWOOD, MASSACHUSETTS 02062
(781) 352-8491

LANDSCAPE DESIGNER

MARY BLACKBURN, PLA, CANP
SOLLI ENGINEERING, LLC
11 VANDERBILT AVENUE, SUITE 240
NORWOOD, MASSACHUSETTS 02062
(781) 352-8491

SURVEYOR OF RECORD

BRIAN C. FRANETOVICH, MA PLS
LICENSE NO. 54258
NORTHEAST SURVEY CONSULTANTS
3 FERRY STREET STUDIO 1 EAST
EAST HAMPTON, MASSACHUSETTS 01027
(413) 203-5144

ARCHITECT

PHASE ZERO DESIGN
25 POND PARK ROAD, BAY 16
HINGHAM, MASSACHUSETTS 02043
(781) 452-7121

DRAWING LIST

CIVIL PLANS			
SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
0.00	COVER SHEET	10/06/23	02/09/24
1 OF 1	EXISTING CONDITIONS MAP	08/28/23	N/A
2.11	SITE LAYOUT PLAN	10/06/23	02/09/24
2.21	GRADING & DRAINAGE PLAN	10/06/23	02/09/24
2.31	SOIL EROSION & SEDIMENT CONTROL PLAN	10/06/23	02/09/24
2.41	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	10/06/23	02/09/24
2.51	SITE UTILITY PLAN	10/06/22	01/12/24
2.61	LANDSCAPE PLAN	10/06/23	02/09/24
2.71	LIGHTING PLAN	10/06/23	12/05/23
3.01	CONSTRUCTION DETAILS	10/06/23	N/A
3.02	CONSTRUCTION DETAILS	10/06/23	N/A
3.03	CONSTRUCTION DETAILS	10/06/23	N/A
3.04	CONSTRUCTION DETAILS	10/06/23	02/09/24
3.05	CONSTRUCTION DETAILS	10/06/23	02/09/24
ARCHITECTURAL PLANS			
SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
A-101	FLOOR PLAN	10/06/23	N/A
A-200	EXTERIOR ELEVATIONS	10/06/23	N/A

PREPARED BY:



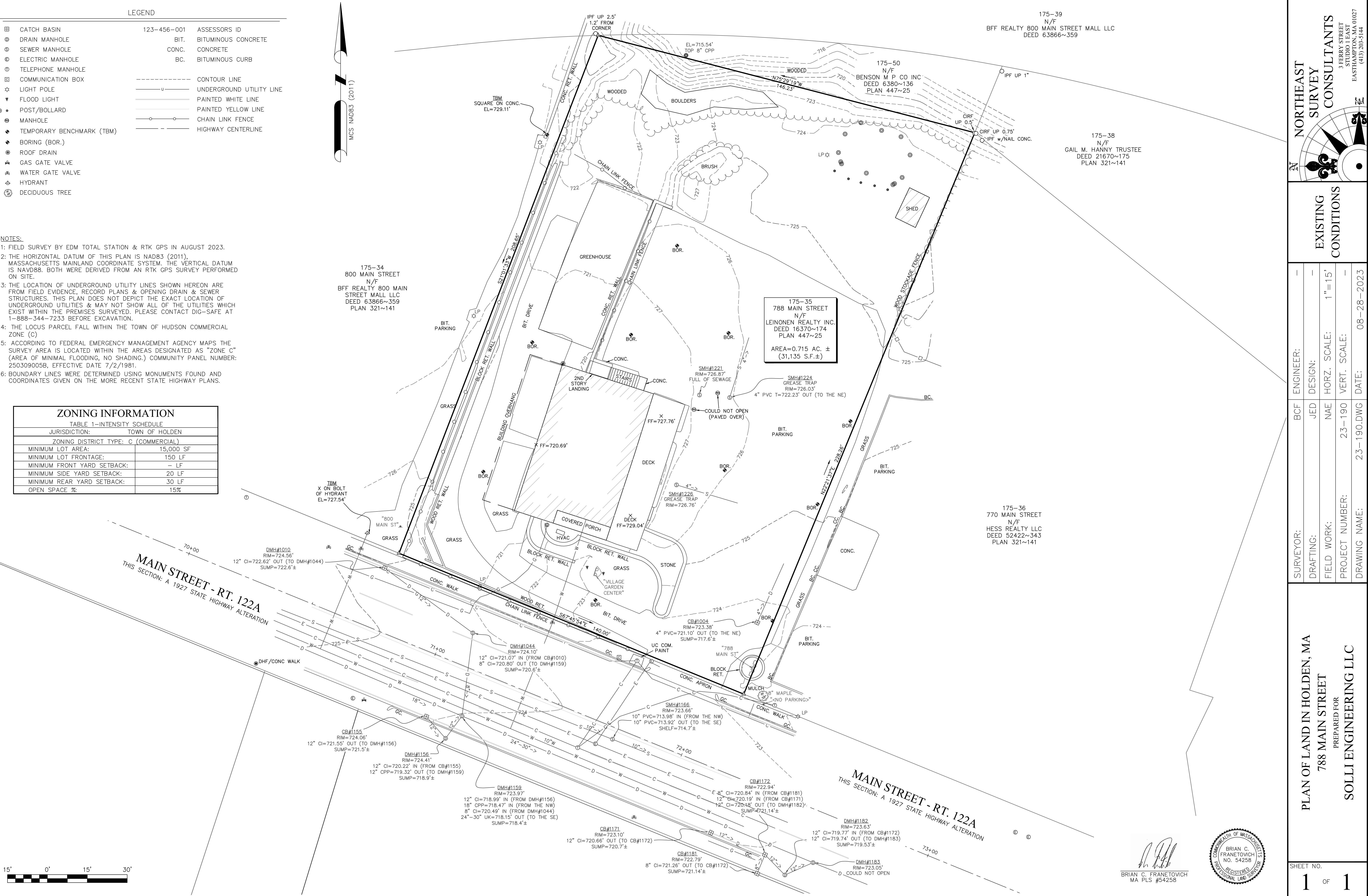
501 MAIN STREET, MONROE, CONNECTICUT 06468
11 VANDERBILT AVENUE, NORWOOD, MASSACHUSETTS 02062

3	02/09/24	CC Comments / Updated PB Material
2	01/12/24	Response to Comment #2
1	12/05/23	Response to Comment #1
Rev. #:	Date	Description
Project:		
PROPOSED COFFEE SHOP REDEVELOPMENT 788 MAIN STREET HOLDEN, MASSACHUSETTS		
Sheet Title:		Sheet #:
COVER SHEET		0.00

LEGEND		
	CATCH BASIN	123-456-001 ASSESSORS ID
	DRAIN MANHOLE	BIT. BITUMINOUS CONCRETE
	SEWER MANHOLE	CONC. CONCRETE
	ELECTRIC MANHOLE	BC. BITUMINOUS CURB
	TELEPHONE MANHOLE	
	COMMUNICATION BOX	----- CONTOUR LINE
	LIGHT POLE	- - - - - UNDERGROUND UTILITY LINE
	FLOOD LIGHT	===== PAINTED WHITE LINE
	POST/BOLLARD	===== PAINTED YELLOW LINE
	MANHOLE	- - - - - CHAIN LINK FENCE
	TEMPORARY BENCHMARK (TBM)	===== HIGHWAY CENTERLINE
	BORING (BOR.)	
	ROOF DRAIN	
	GAS GATE VALVE	
	WATER GATE VALVE	
	HYDRANT	
	DECIDUOUS TREE	

- NOTES:
- 1: FIELD SURVEY BY EDM TOTAL STATION & RTK GPS IN AUGUST 2023.
 - 2: THE HORIZONTAL DATUM OF THIS PLAN IS NAD83 (2011), MASSACHUSETTS MAINLAND COORDINATE SYSTEM. THE VERTICAL DATUM IS NAVD88. BOTH WERE DERIVED FROM AN RTK GPS SURVEY PERFORMED ON SITE.
 - 3: THE LOCATION OF UNDERGROUND UTILITY LINES SHOWN HEREON ARE FROM FIELD EVIDENCE, RECORD PLANS & OPENING DRAIN & SEWER STRUCTURES. THIS PLAN DOES NOT DEPICT THE EXACT LOCATION OF UNDERGROUND UTILITIES & MAY NOT SHOW ALL OF THE UTILITIES WHICH EXIST WITHIN THE PREMISES SURVEYED. PLEASE CONTACT DIG-SAFE AT 1-888-344-7233 BEFORE EXCAVATION.
 - 4: THE LOCUS PARCEL FALL WITHIN THE TOWN OF HUDSON COMMERCIAL ZONE (C)
 - 5: ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS THE SURVEY AREA IS LOCATED WITHIN THE AREAS DESIGNATED AS "ZONE C" (AREA OF MINIMAL FLOODING, NO SHADING.) COMMUNITY PANEL NUMBER: 250309005B, EFFECTIVE DATE 7/2/1981.
 - 6: BOUNDARY LINES WERE DETERMINED USING MONUMENTS FOUND AND COORDINATES GIVEN ON THE MORE RECENT STATE HIGHWAY PLANS.

ZONING INFORMATION	
TABLE 1-INTENSITY SCHEDULE	
JURISDICTION:	TOWN OF HOLDEN
ZONING DISTRICT TYPE:	C (COMMERCIAL)
MINIMUM LOT AREA:	15,000 SF
MINIMUM LOT FRONTAGE:	150 LF
MINIMUM FRONT YARD SETBACK:	- LF
MINIMUM SIDE YARD SETBACK:	20 LF
MINIMUM REAR YARD SETBACK:	30 LF
OPEN SPACE %:	15%



NORTHEAST SURVEY CONSULTANTS

3 FERRY STREET
STUDIO LEAST
EASTHAMPTON, MA 01027
(413) 203-5144

EXISTING CONDITIONS

SURVEYOR: BCF ENGINEER: -

DRAFTING: JED DESIGN: -

FIELD WORK: NAE HORZ. SCALE: 1"=15'

PROJECT NUMBER: 23-190 VERT. SCALE: -

DRAWING NAME: 23-190.DWG DATE: 08-28-2023

PLAN OF LAND IN HOLDEN, MA

788 MAIN STREET

PREPARED FOR

SOLLI ENGINEERING LLC

SHEET NO.

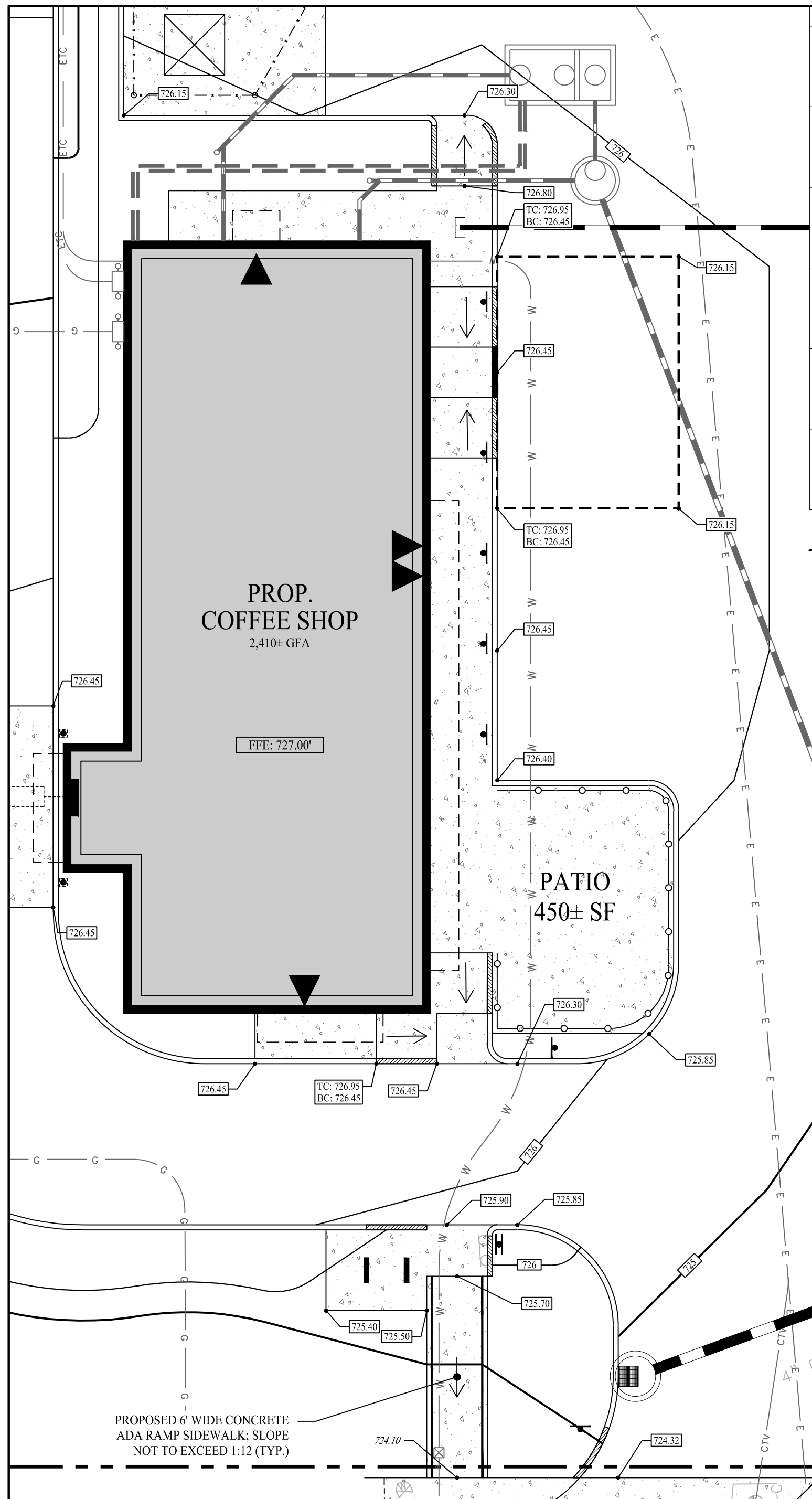
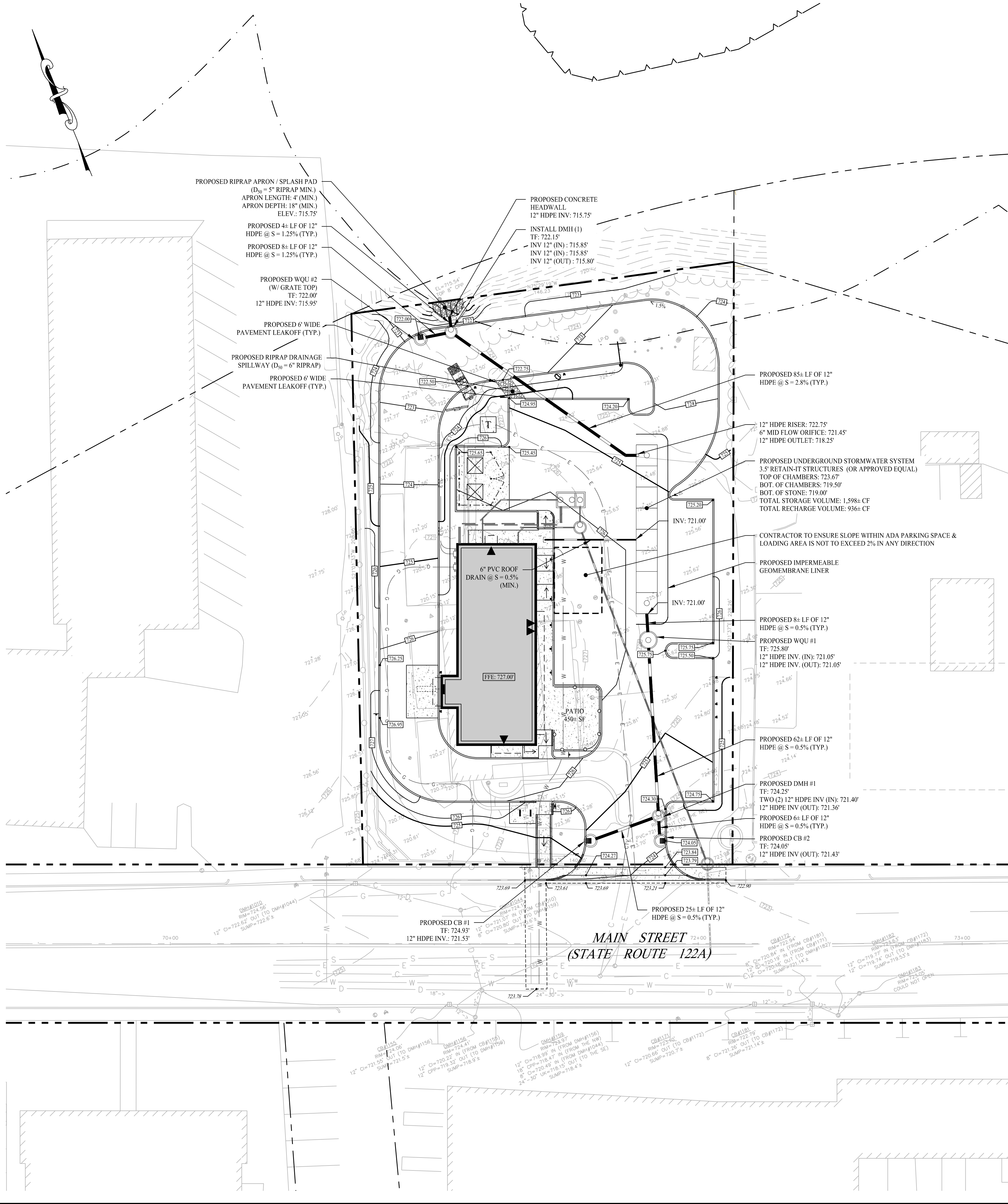
1 OF 1

BRIAN C. FRANETOVICH
MA PLS #54258



1. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG BEFORE YOU DIRT" 72 HOURS BEFORE THE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS, INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS, AND INFORMATION FROM VALUED INFORMATION INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES.
2. SIGNAGE TO UNCOVER EXISTING UTILITIES, EXISTING PIPING OR OTHER UTILITIES BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY AND SECURITY OF THE SITE DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER OF RECORD SHALL HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFETY METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
4. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR POST AND BILLS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS PROJECT.
5. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING AND SIDEWALKS ADJACENT TO THE BUILDING.
6. THE CONTRACTOR SHALL INSTALL THE FOLLOWING TRAFFIC CONTROL STANDARDS, SIGNS, SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7" VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
7. PAVEMENT MARKING KEY:
 - a. 4" SW/L - 4" SINGLE SOLID WHITE LINE
 - b. 4" DSYL - 4" DOUBLE SOLID YELLOW LINE
 - c. 12" SSWSB - 12" SINGLE SOLID WHITE STOP BAR
8. PARKING SPACES SHALL BE STRIPED WITH 4" SW/L; HATCHED AREA SHALL BE STRIPED WITH 4" SW/L AT A 45° ANGLE, 2" ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE AND WHITE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
9. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER OF RECORD. DURING CONSTRUCTION CONTRACTOR IS TO HAVE THE SITE PROTECTED FROM FREE AND OPEN ACCESS TO THE PUBLIC AND OVERGROWTH VEGETATION.
10. THE DERRIS SHALL BE RESPONSIBLE TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS, AND OVERGROWN VEGETATION.
11. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH MASSACHUSETTS DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
12. ACCORDING TO GEOGRAPHIC INFORMATION SYSTEM (GIS) MAPPING PRODUCED BY THE STATE'S GIS SYSTEM ("MAPSMAPPER"), NO PORTION OF THE SITE CONTAINS STATE MAPPED WETLANDS OR LIES WITHIN 100 FEET OF ANY STATE MAPPED WETLANDS ON ADJOINING PROPERTIES, OR IS WITHIN A WELLHEED PROTECTED AREA.
13. ACCORDING TO FLOOD MAP NUMBER 2502C0083L, PAGES 83 OF 176, DATED 03/16/2016, THE PROJECT IS NOT IN A FLOOD HAZARD OR OTHER FLOOD AREA. ZONE "A" AREAS OF 0.2% ANNUAL CHANCE OF FLOOD (500-YEAR FLOOD PLAIN); AREAS OF 1% ANNUAL FLOOD PLAIN; WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN A SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

Sheet Title:	Sheet #:
SITE LAYOUT PLAN	2.11



ABBREVIATIONS

@	AT
ADA	AMERICANS WITH DISABILITIES ACT
BC	BOTTOM OF CURB
CB	CATCH BASIN
CF	CUBIC FEET
DMH	DRAINAGE MANHOLE
D ₅₀	DIAMETER 50
ELEV	ELEVATION
EX	EXISTING
FFE	FINISHED FLOOR ELEVATION
HDPE	HIGH DENSITY POLYETHYLENE
INV	INVERT
LF	LINEAR FEET
NAVD	NORTH AMERICAN VERTICAL DATUM
PR	PROPOSED
PVC	POLYVINYL CHLORIDE
S	SLOPE
SF	SQUARE FOOT
STRM	STORM
TC	TOP OF CURB
TF	TOP OF FRAME
TYP	TYPICAL
UG	UNDERGROUND SYSTEM
VIF	VERIFY IN FIELD
WQU	WATER QUALITY UNIT

GENERAL NOTES

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF HOLDEN FOR THIS PROJECT.
- EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN TITLED "EXISTING CONDITIONS", DATED AUGUST 22, 2023, SCALE: 1"=15', PREPARED BY NORTHEAST SURVEY CONSULTANTS.
- THE HORIZONTAL DATUM IS NAD83 (MASS. MAINLAND).
- FIELD SURVEY BY EDM TOTAL STATION & RTK GPS IN AUGUST 2023.
- THE VERTICAL DATUM IS NAVD83.
- THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 0.715± ACRES LOCATED WITHIN THE TOWN OF HOLDEN ZONING DISTRICT COMMERCIAL (C). RESTAURANT USES ARE PERMITTED BY SPECIAL USE PERMIT WITHIN THIS DISTRICT.

GRADING & DRAINAGE NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROLS NECESSARY FOR THIS PROJECT.
- UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING, OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OF RECORD OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
- ALL UTILITY WORK PROPOSED WITHIN THE CITY OF HOLDEN RIGHT-OF-WAY SHALL COMPLY WITH TOWN OF HOLDEN DPW AND ENGINEERING STANDARDS AND SPECIFICATIONS. PROPOSED UTILITY WORK WILL REQUIRE LANE CLOSURES. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION.
- ALL DISTURBANCE TO TOWN, COUNTY, OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
- ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
- GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACTION ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO PAVING OPERATIONS COMMENCING.
- THE PROPOSED STORMWATER MANAGEMENT SYSTEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE MASSACHUSETTS STORMWATER HANDBOOK AND STORMWATER STANDARDS.
- ALL CATCH BASINS ARE TO BE INSTALLED WITH MINIMUM OF 4-FOOT SUMPS AND HOODED OUTLETS.

Rev. #:	Date	Description
3	02/09/24	CC Comments / Updated PB Material
2	01/12/24	Response to Comment #2
1	12/05/23	Response to Comment #1

Graphic Scale:



Drawn By:	STM
Checked By:	CJB
Approved By:	KMS
Project #:	23204001
Plan Date:	10/06/23
Scale:	1" = 20'



**PROPOSED
COFFEE SHOP
REDEVELOPMENT**
788 MAIN STREET
HOLDEN, MASSACHUSETTS

Sheet Title:	Sheet #:
GRADING & DRAINAGE PLAN	2.21

Feb 08, 2024 - 5:22pm Sum
MA\SE Files\Project Data\23204001 - 788 Main Street - Holden, MA\Cadd Data\23204001-2.31.dwg

GENERAL NOTES

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF HOLDEN FOR THIS PROJECT.
- EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN TITLED "EXISTING CONDITIONS", DATED AUGUST 22, 2023, SCALE: 1"=15', PREPARED BY NORTHEAST SURVEY CONSULTANTS.
 - THE HORIZONTAL DATUM IS NAD83 (MASS. MAINLAND).
 - FIELD SURVEY BY EDM TOTAL STATION & RTK OPS IN AUGUST 2023.
 - THE VERTICAL DATUM IS NAVD88.
- THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 0.715± ACRES LOCATED WITHIN THE TOWN OF HOLDEN ZONING DISTRICT COMMERCIAL (C). RESTAURANT USES ARE PERMITTED BY SPECIAL USE PERMIT WITHIN THIS DISTRICT.

CONSTRUCTION SEQUENCE (PHASE I)

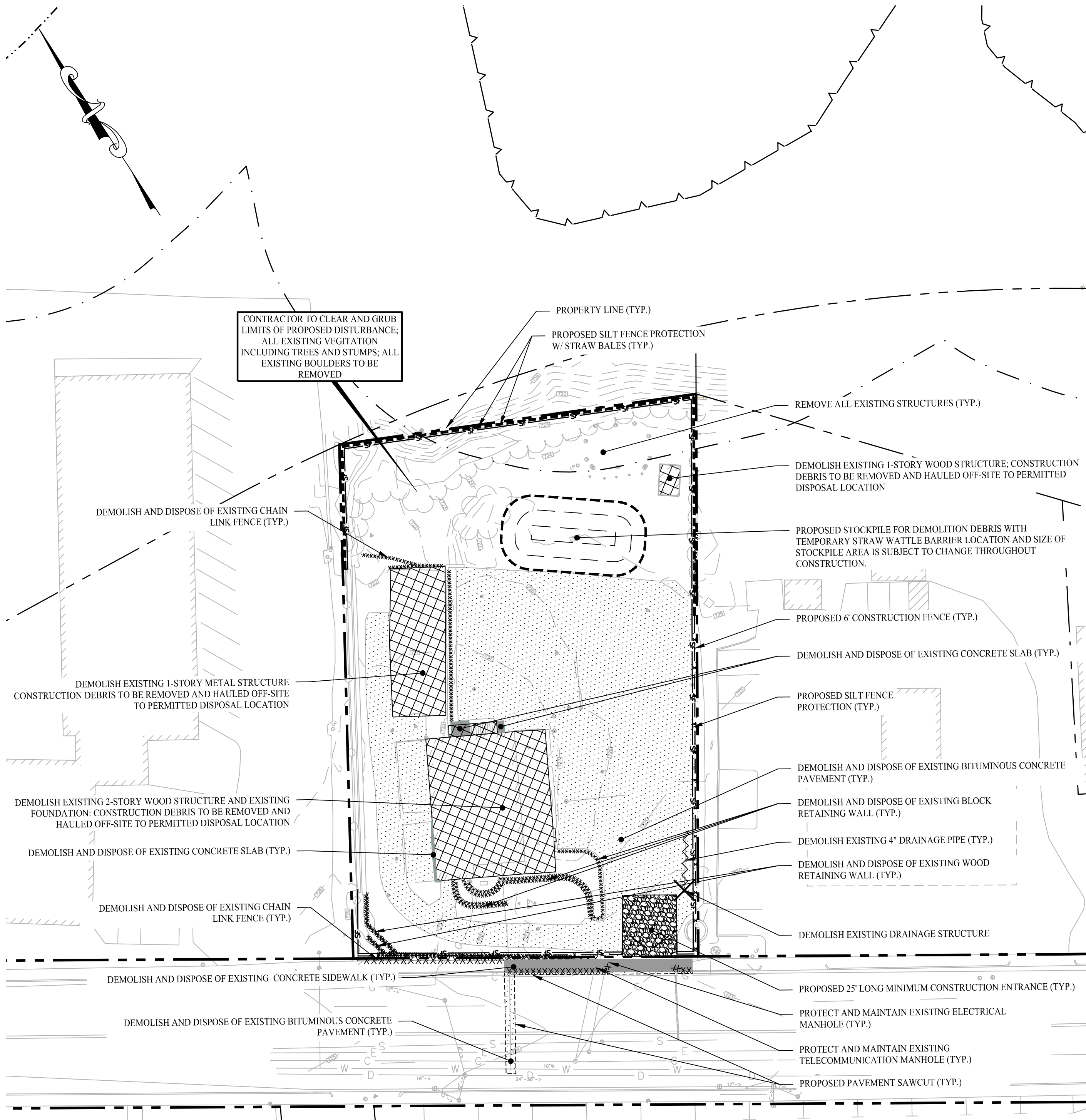
- PHASE I:**
 - ENSURE ALL BONDING / FEES / ZONING PERMITS ARE PAID AND APPROVED BY TOWN OF HOLDEN PRIOR TO CONSTRUCTION.
 - INSTALL CONSTRUCTION FENCE AND STABILIZED CONSTRUCTION ENTRANCE / EXIT.
 - INSTALL SILT FENCE / SEC MEASURES AS PROPOSED (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SEC MEASURES).
 - PREPARE TEMPORARY PARKING AND STORAGE AREAS.
 - INSTALL SILT SACK INLET PROTECTION ON ALL EXISTING DRAINAGE STRUCTURES WITHIN THE PROJECT SITE AND WITHIN PROXIMITY OF THE SITE.
 - HALT ALL ACTIVITIES AND CONTACT THE ENGINEER OF RECORD / TOWN OF HOLDEN LAND USE AGENT TO PERFORM INSPECTION AND CERTIFICATION OF BEST MANAGEMENT PRACTICES (BMPS). GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT THE STORM WATER PRE-CONSTRUCTION MEETING WITH THE ENGINEER OF RECORD, TOWN AGENCIES, AND GROUND-DISTURBING CONTRACTOR BEFORE PROCEED WITH CONSTRUCTION.
 - PERFORM PAVEMENT SAWCUTS.
 - DEMOLISH AND REMOVE EXISTING STRUCTURES / FOUNDATIONS.
 - REMOVE ALL EXISTING CURBING, BITUMINOUS CONCRETE PAVEMENT, CONCRETE PADS, AND FENCING.
 - BEGIN CLEARING AND GRUBBING THE SITE.
 - ESTABLISH MATERIAL STOCKPILE AREA AND INSTALL SEC BARRIER SURROUNDING PILE.
 - BEGIN ROUGH GRADING OF THE SITE.

CONSTRUCTION SEQUENCE (PHASE II)

- PHASE II:**
 - TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
 - INSTALL PROPOSED STORM DRAINAGE SYSTEM AND STRUCTURES (SEE SHEET 2.21).
 - UPON INSTALLATION OF DRAINAGE STRUCTURES INLET PROTECTIONS TO BE INSTALLED.
 - INSTALL UTILITIES AS SHOWN ON SHEET 2.51. UTILITIES TO BE CAPPED FOR FUTURE CONNECTIONS AS SHOWN ON HEREON. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS TO CONFIRM LAYOUT / PHASING.
 - START CONSTRUCTION OF BUILDING PAD, PARKING AREAS, AND STRUCTURES.
 - INSTALL CURBS.
 - PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 - PREPARE SITE FOR FINAL GRADING.
 - CONSTRUCT CONCRETE PADS AND SIDEWALKS.
 - INSTALL APPROPRIATE INLET PROTECTIONS PRIOR TO PAVING.
 - PAVE AREAS SHOWN ON SITE LAYOUT PLAN, SEE SHEET 2.11.
 - CONTRACTOR / CONSTRUCTION MANAGER TO COORDINATE WITH ENGINEER OF RECORD TO OBTAIN STABILIZED SITE STATUS.
 - CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION REPORT IS SIGNED BY THE CONSTRUCTION MANAGER AND SUBMITTED.

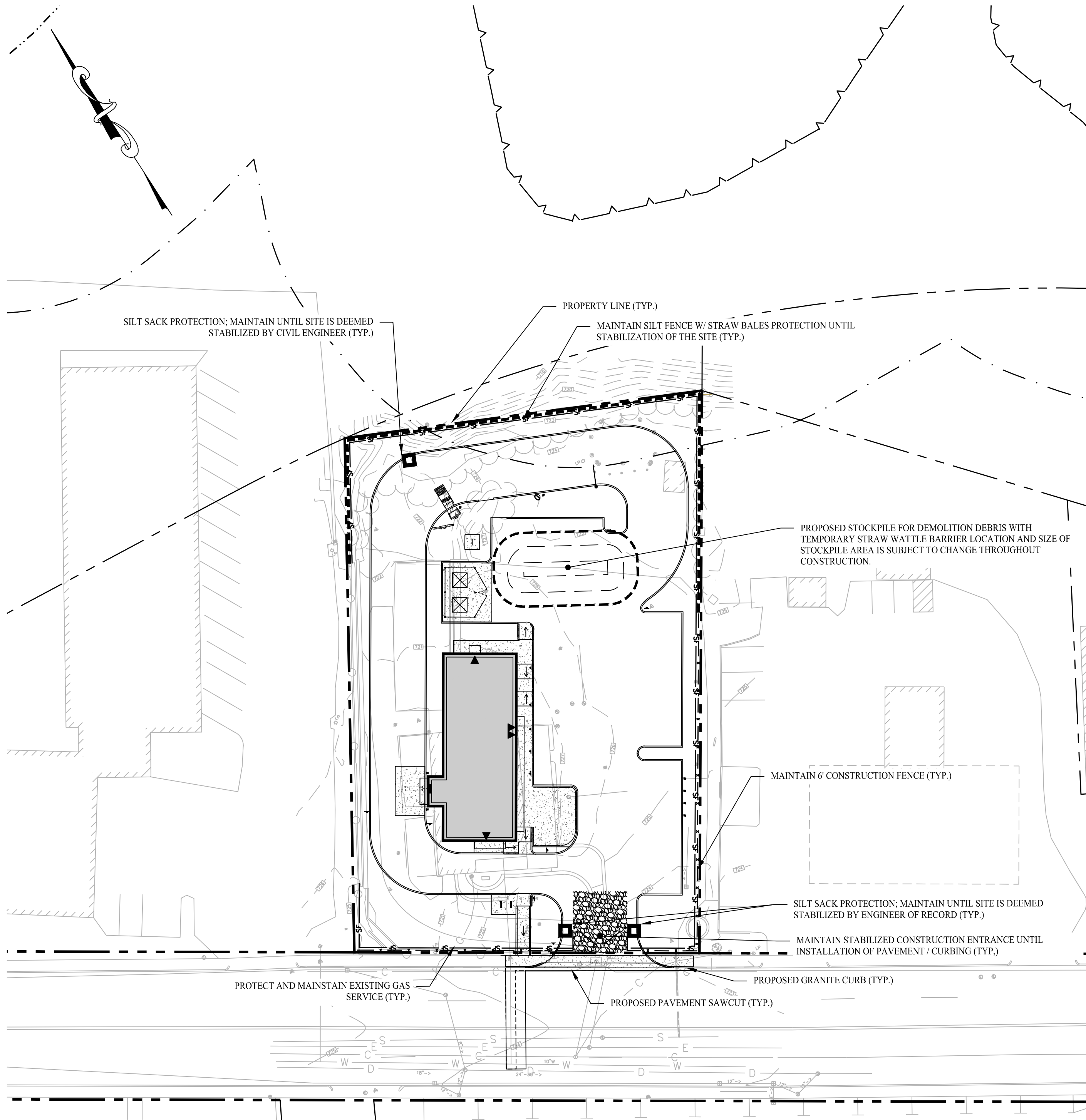
LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	SILT FENCE PROTECTION
	CONSTRUCTION FENCE
	BUILDING / STRUCTURE DEMOLITION
	CONCRETE PAVEMENT DEMOLITION
	BITUMINOUS CONCRETE PAVEMENT DEMOLITION
	CURB REMOVAL
	FENCE / ROCK WALL REMOVAL
	STORM / SANITARY STRUCTURE REMOVAL
	SILT SACK INLET PROTECTION
	CONSTRUCTION ENTRANCE
	STORM SEWER PIPE REMOVAL



PHASE I - DEMOLITION & SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 30'

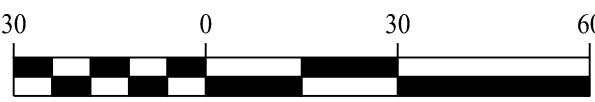


PHASE II - SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 30'

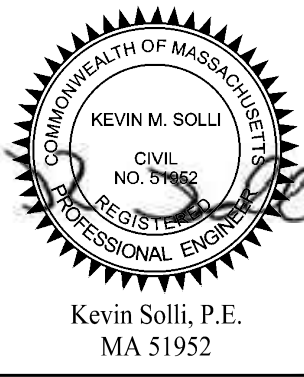
1	02/09/24	CC Comments / Updated PB Material
Rev. #:	Date	Description

Graphic Scale:



SOLLI ENGINEERING
501 Main Street, Monroeville, CT 06468 T: (203) 880-5455 F: (203) 880-9695
11 Vanderbilt Ave, Norwood, MA 02062 T: (781) 352-8491 F: (203) 880-9695

Drawn By:	OSK
Checked By:	CJB
Approved By:	KMS
Project #:	23204001
Plan Date:	10/06/23
Scale:	1" = 30'

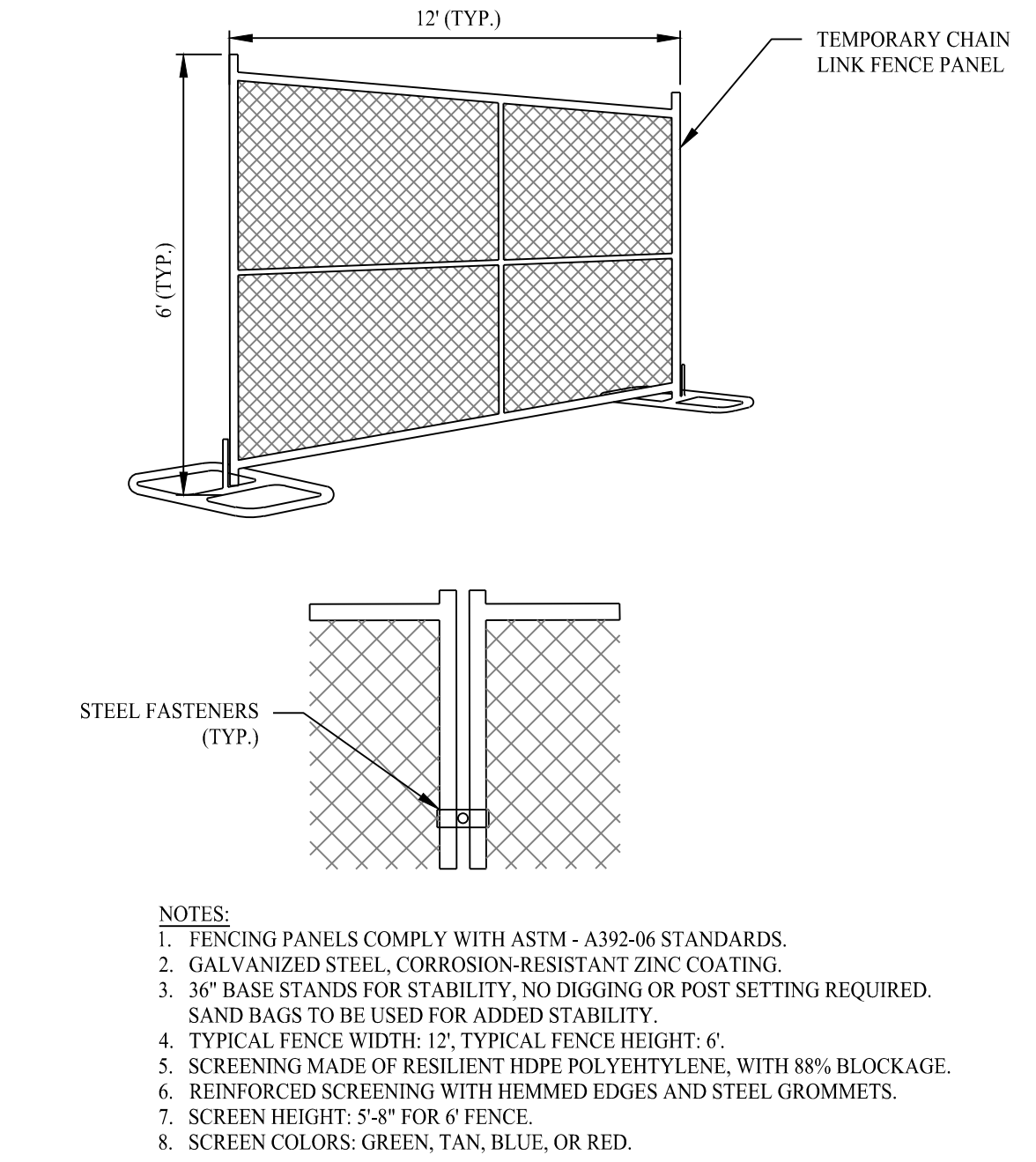


Project: **PROPOSED COFFEE SHOP REDEVELOPMENT**
788 MAIN STREET
HOLDEN, MASSACHUSETTS

Sheet Title: **SOIL EROSION & SEDIMENT CONTROL PLAN**

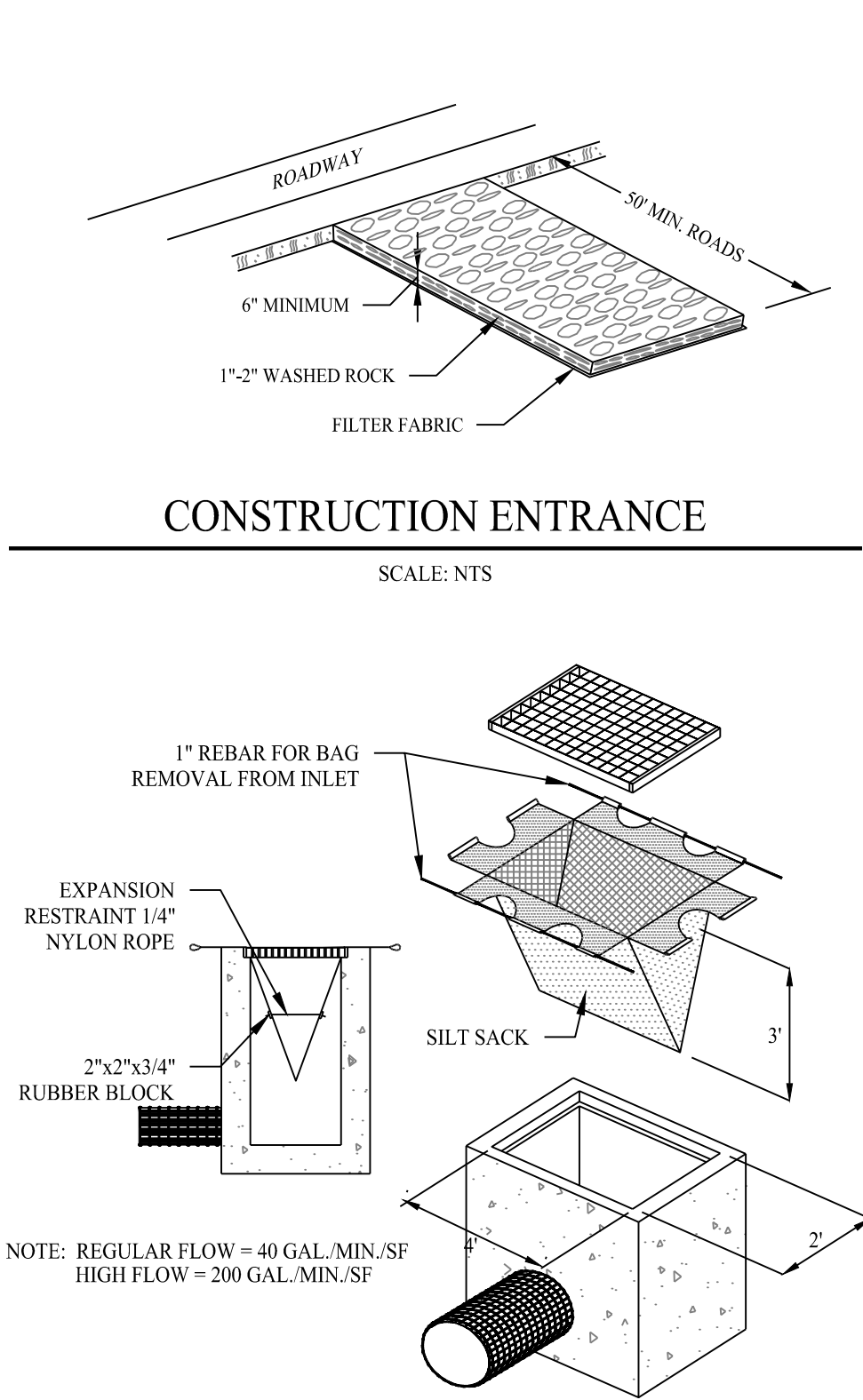
Sheet #:

2.31



TEMPORARY CONSTRUCTION FENCE DETAIL

SCALE: NTS

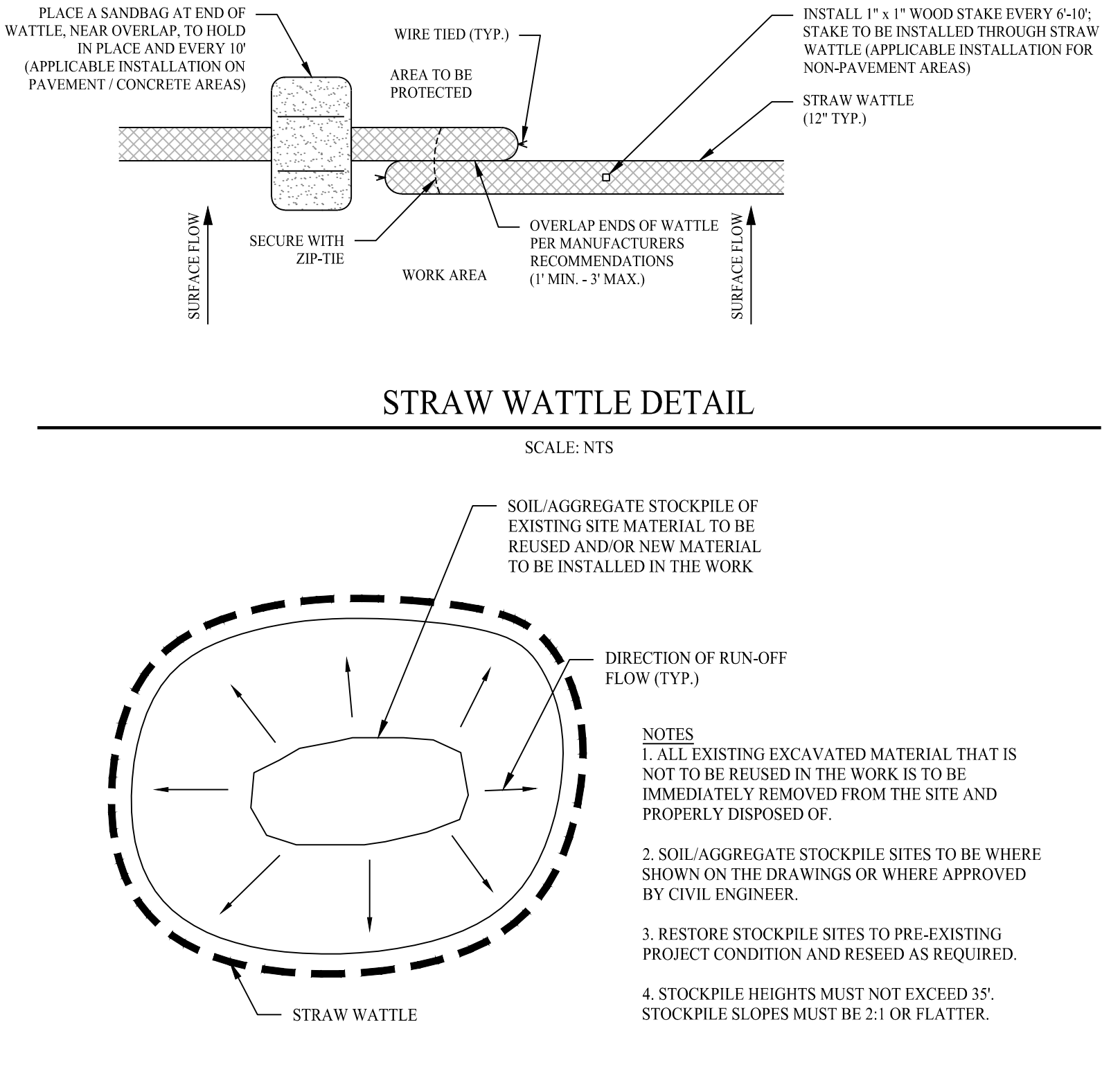


CONSTRUCTION ENTRANCE

SCALE: NTS

SILT SACK INLET PROTECTION

SCALE: NTS

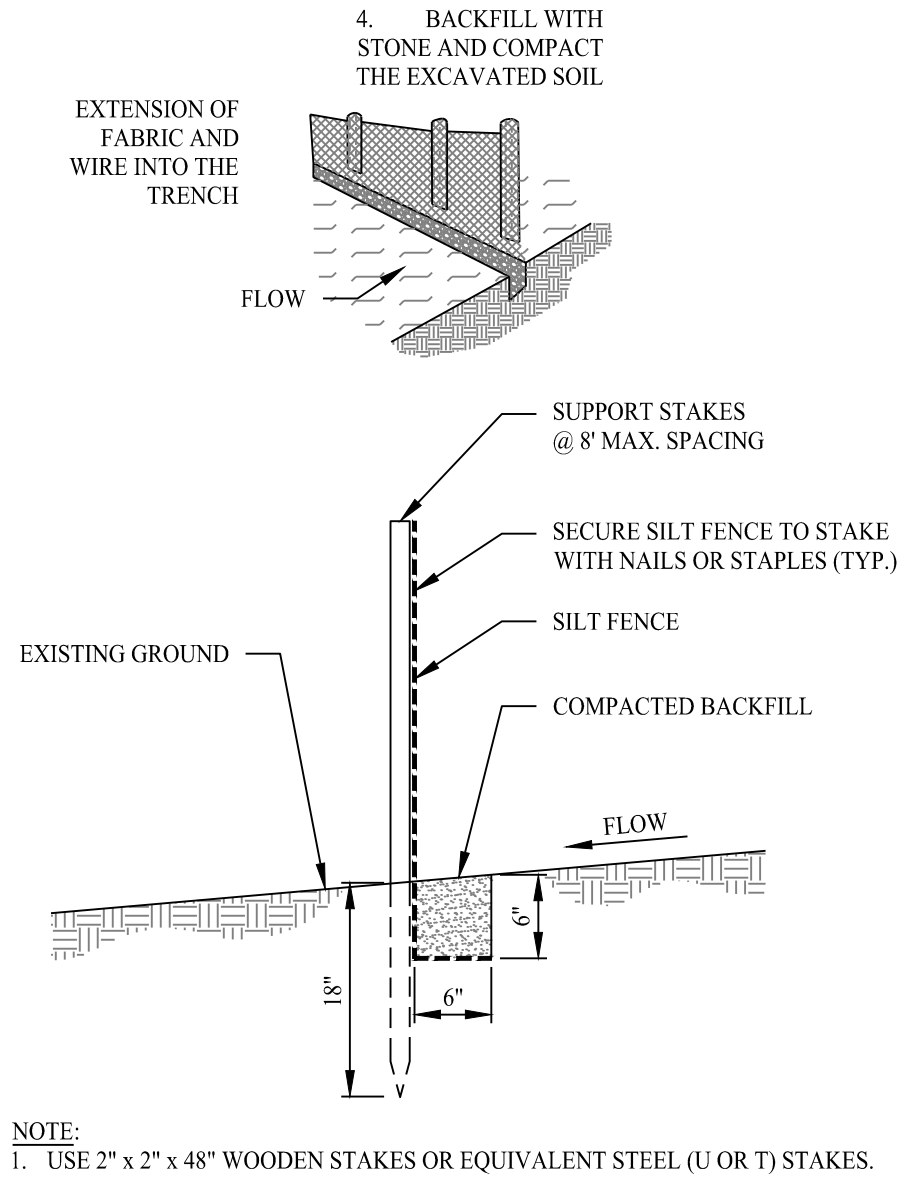


STRAW WATTLE DETAIL

SCALE: NTS

MATERIALS STOCKPILE DETAIL

SCALE: NTS



SILT FENCE DETAIL

SCALE: NTS

SOIL EROSION & SEDIMENT CONTROL NOTES

SEDIMENT AND EROSION CONTROL NARRATIVE

THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND ADJACENT WATER COURSES FROM SEDIMENT LADEN SURFACE RUNOFF AND EROSION.

CONSTRUCTION SCHEDULE

THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS SPRING 2024 WITH COMPLETION ANTICIPATED BY FALL 2024. APPROPRIATE EROSION CONTROL MEASURES AS DESCRIBED HEREIN, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL SITE CLEARING OR CONSTRUCTION ACTIVITY. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED.

CONTINGENCY EROSION PLAN

THE CONTRACTOR SHALL INSTALL ALL SPECIFIED EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE TOWN OF HOLDEN HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

OPERATION REQUIREMENTS

CLEARING AND GRUBBING OPERATIONS:

- ALL SEDIMENTATION AND EROSION CONTROL MEASURES WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING OPERATIONS.
- FOLLOWING INSTALLATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH GRADING, FILLING, OR OTHER CONSTRUCTION OPERATIONS UNTIL THE ENGINEER OF RECORD, OR QUALIFIED REPRESENTATIVE OF THE ENGINEER OF RECORD HAS INSPECTED AND APPROVED ALL INSTALLATIONS.
- THE CONTRACTOR SHALL TAKE EXTREME CARE DURING CLEARING AND GRUBBING OPERATIONS SO AS NOT TO DISTURB SEDIMENTATION AND EROSION CONTROL DEVICES.
- FOLLOWING THE COMPLETION OF CLEARING AND GRUBBING OPERATIONS, ALL AREAS SHALL BE STABILIZED WITH TOPSOIL AND SEEDING OR PROCESSED AGGREGATE STONE AS SOON AS PRACTICAL.

ROUGH GRADING OPERATIONS:

- DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE GRADING & DRAINAGE PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE, IF REQUIRED.
- ALL STOCKPILED TOPSOIL THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE SEEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

PLACEMENT OF DRAINAGE STRUCTURES AND UTILITIES OPERATIONS:

- STRAW WATTLE SHALL BE INSTALLED AT THE DOWNHILL SIDES OF MUD PUMP DISCHARGES AND UTILITY TRENCH MATERIAL STOCKPILES. HAY BALES MAY BE USED IF SHOWN ON THE EROSION CONTROL PLANS OR IF DIRECTED BY THE ENGINEER OF RECORD.

FINAL GRADING AND PAVING OPERATIONS:

- ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS SHOWN ON EROSION CONTROL PLANS AND DETAILS, AND AS DESCRIBED HEREIN.
- NO CUT OR FILL SLOPES SHALL EXCEED 3:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, JUTE MESH, AND VEGETATION. ALL SLOPES SHALL BE SEEDED.
- PAVEMENT SUB-BASE AND BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN INSTALLED.
- AFTER CONSTRUCTION OF PAVEMENT, TOPSOIL, FINAL SEED, MULCH, AND LANDSCAPING, REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY A TOWN OF HOLDEN LAND USE AGENT.

INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES

- SILTATION FENCE:
 - DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.
 - POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
 - LAY THE BOTTOM SIX INCHES OF THE FABRIC INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
 - BACKFILL THE TRENCH AND COMPACT.
- SILT SACK INLET PROTECTION:
 - REMOVE CATCH BASIN GRATE AND PROPERLY PLACE THE SILT SACK INTO THE FRAME OF THE CATCH BASIN.
 - PLACE GRATE BACK ONTO FRAME AND ENSURE NO PORTIONS OF THE SILT SACK HAVE SAGGED INTO THE CATCH BASIN.
 - ONCE GRATE IS PLACED BACK ONTO FRAME OBSERVE TO SEE IF SILT SACK IS INSTALLED IN A MANNER THAT WILL ALLOW FOR SEDIMENT TO BE FILTERED OUT DURING STORM EVENTS.

- III. STRAW WATTLE:
 - PLACE STRAW WATTLE ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION / INLET PROTECTION.
 - PLACE APPLICATION DRIVE POST INTO STRAW WATTLE; IN AREAS OF PAVEMENT PLACE SAND BAGS ON TOP OF STRAW WATTLE. HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
- IV. CONSTRUCTION ENTRANCE:
 - REMOVE ALL VEGETATION AND OTHER MATERIALS FROM THE FOUNDATION AREA, GRADE AND CROWN FOUNDATION FOR POSITIVE DRAINAGE.
 - PLACE 1-3IN STONE A MINIMUM OF 50FT ALONG THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD. AGGREGATE SHOULD BE PLACED AT LEAST 6" THICK.
 - GEOTEXTILE FILTER FABRIC SHALL BE PLACED BETWEEN STONE FILL AND EARTH SURFACE TO REDUCE THE MIGRATION OF SOIL PARTICLES FROM THE UNDERLYING SOIL INTO THE STONE AND VICE VERSA.
 - ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE.
 - FILTER FABRIC FENCE SHALL BE INSTALLED DOWN GRADIENT FROM THE CONSTRUCTION ENTRANCE IN ORDER TO CONTAIN SEDIMENT-LADEN RUNOFF FROM THE ENTRANCE.

OPERATION AND MAINTENANCE OF SEDIMENTATION AND EROSION CONTROL MEASURES

- I. SILTATION FENCE:
 - ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLANS.
 - SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF ONE FOOT.
- II. SILT SACK INLET PROTECTION:
 - ALL SILT SACK INLET PROTECTION DEVICES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATE SILT SACKS AND SACKS THAT APPEAR TO HAVE AN EXCESS OF SEDIMENT SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.
 - SEDIMENT DEPOSITS SHALL BE REMOVED FROM THE SILT SACKS WHEN THEY EXCEED A COUPLE INCHES OF SEDIMENT WITHIN THE CATCH BASIN.
- III. STRAW WATTLE:
 - ALL DAMAGED WATTLES AND POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLANS FOR THIS PROJECT.
 - SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE BARRIER WHEN THEY EXCEED 3-4 INCHES IN HEIGHT.

- IV. CONSTRUCTION ENTRANCE:
 - ALL CONSTRUCTION ENTRANCE AND FENCE SHALL BE INSPECTED AT A MINIMUM WEEKLY AND AFTER HEAVY RAINS OR HEAVY USE.
 - REMOVE MUD AND HEAVY SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROAD IMMEDIATELY.
 - THE GRAVEL PAD SHALL BE TOPDRESSED WITH NEW STONE WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE GRAVEL.
 - RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.
 - REPAIR BROKEN ROAD PAVEMENT IMMEDIATELY.

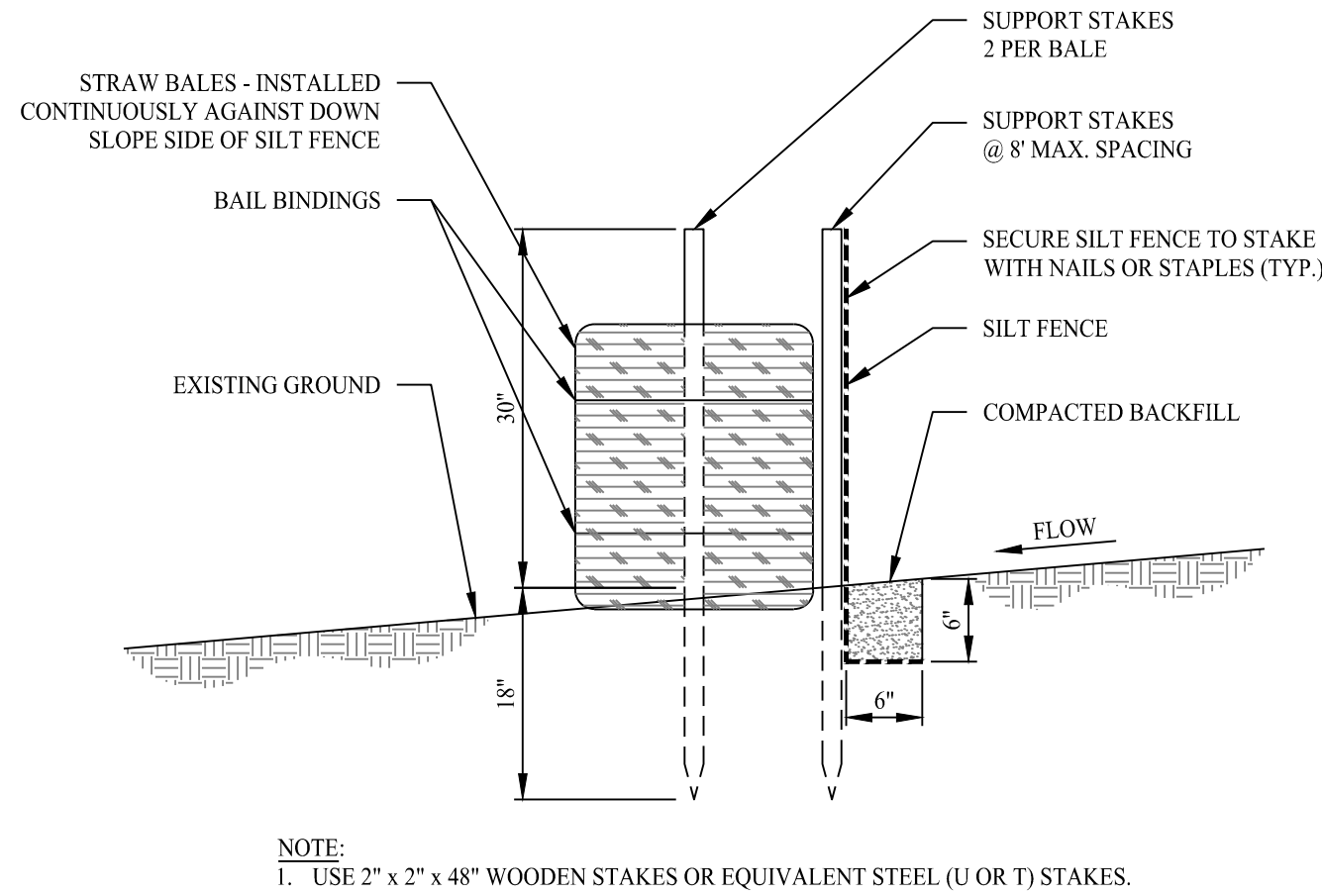
EROSION AND SEDIMENT CONTROL PLAN

- CATCH BASINS WILL BE PROTECTED WITH HAY BALE FILTERS, STRAW WATTLE, SILT SACKS, SILTATION FENCE, OR OTHER INLET PROTECTION DEVICES PER DETAILS, THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE MASSACHUSETTS GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, LATEST EDITION.
- EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE.
- ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED OR AS DIRECTED BY THE ENGINEER OF RECORD OR BY LOCAL GOVERNING OFFICIALS.
- SEDIMENT REMOVED FROM EROSION CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT AND REQUIREMENTS OF THE EROSION CONTROL PLANS, NOTES, AND DETAILS.
- THE OWNER IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN.

SEDIMENT AND EROSION CONTROL NOTES

- THE SEDIMENT AND EROSION CONTROL PLAN IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THIS SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION

- SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER CONTRACT PLANS FOR APPROPRIATE INFORMATION.
- THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE GOVERNING AUTHORITY OF TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT AND EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
- AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED WITH THE TOWN OF HOLDEN TO ENSURE IMPLEMENTATION OF THE EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF THIS BOND AND FOR INQUIRIES TO THE TOWN OF HOLDEN FOR INFORMATION ON THE METHOD, TYPE AND AMOUNT OF THE BOND POSTING UNLESS OTHERWISE DIRECTED BY THE OWNER.
- VISUAL SITE INSPECTIONS SHALL BE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT OF 0.25 INCHES OR GREATER BY QUALIFIED PERSONNEL, TRAINED, AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT THE EROSION AND SEDIMENT CONTROL (E&S) BMPs ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION.
- THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE MASSACHUSETTS STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL MANUAL (NOVEMBER 2016), AND AS DIRECTED BY THE TOWN OF HOLDEN LAND USE AGENT, THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.
- ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, ENGINEER OF RECORD, TOWN OF HOLDEN LAND USE AGENT, OR GOVERNING AGENCIES. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.
- THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION CONTROL MATERIAL (HAY BALES, STRAW WATTLE, JUTE MESH, RIP RAP ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.
- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH STRAW WATTLE, SAFETY FENCE, HAY BALES, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE STRAW WATTLE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.
- MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (2 WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDING WITH TACKIFIER.
- SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDE WATERING DOWN DISTURBED AREAS, USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
- ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF UTILITY AND STORM PIPE TRENCHES SO AS TO ALLOW THE TRENCH TO INTERCEPT ALL STRAW WATTLE LADEN RUNOFF.
- CONTRACTOR SHALL ONLY EXCAVATE AS MUCH UTILITY AND STORM PIPE TRENCH WORK AS CAN BE COMPLETED, BACKFILLED, AND STABILIZED IN ONE DAY SO AS TO LIMIT THE AMOUNT OF OPEN, DISTURBED TRENCHING.
- STOCKPILES OF STRIPPED MATERIALS SHALL BE PERIODICALLY SPRAYED WITH WATER OR A CRUSTING AGENT TO STABILIZE POTENTIALLY WIND-BLOWN MATERIAL. HAUL ROADS BOTH INTO AND AROUND THE SITE ARE TO BE SPRAYED AS NEEDED TO SUPPRESS DUST. TRUCKS HAULING IMPORT FILL MATERIAL ARE TO BE TARPED TO AID IN THE CONTROL OF AIRBORNE DUST. DURING HIGH WIND EVENTS (20 TO 30 MPH SUSTAINED) CONSTRUCTION ACTIVITY SHALL BE LIMITED OR CEASED IF DUST CANNOT BE CONTROLLED BY WETTING.
- MAINTAIN ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOT AND REMOVE ALL TEMPORARY SEDIMENT CONTROLS WHEN AUTHORIZED BY LOCAL GOVERNING AUTHORITY. FILE N.O.T. (NOTICE OF TERMINATION) WITH GOVERNING AUTHORITY RESPONSIBLE FOR REGULATING STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES PER NPDES.



SILT FENCE WITH STRAW BALE BACKING

SCALE: NTS

1	02/09/24	CC Comments / Updated PB Material
Rev. #:	Date	Description

SOLLI
ENGINEERING

501 Main Street, Monro, CT 06468
11 Vanderbilt Ave, Norwood, MA 02062

T: (203) 880-5455 F: (203) 880-9695
T: (781) 352-8491 F: (203) 880-9695

Drawn By: STM

Checked By: CJB

Approved By: KMS

Project #: 23204001

Plan Date: 10/06/23

Scale: NTS

Kevin Solli, P.E.
MA 51952

Project:

**PROPOSED
COFFEE SHOP
REDEVELOPMENT**

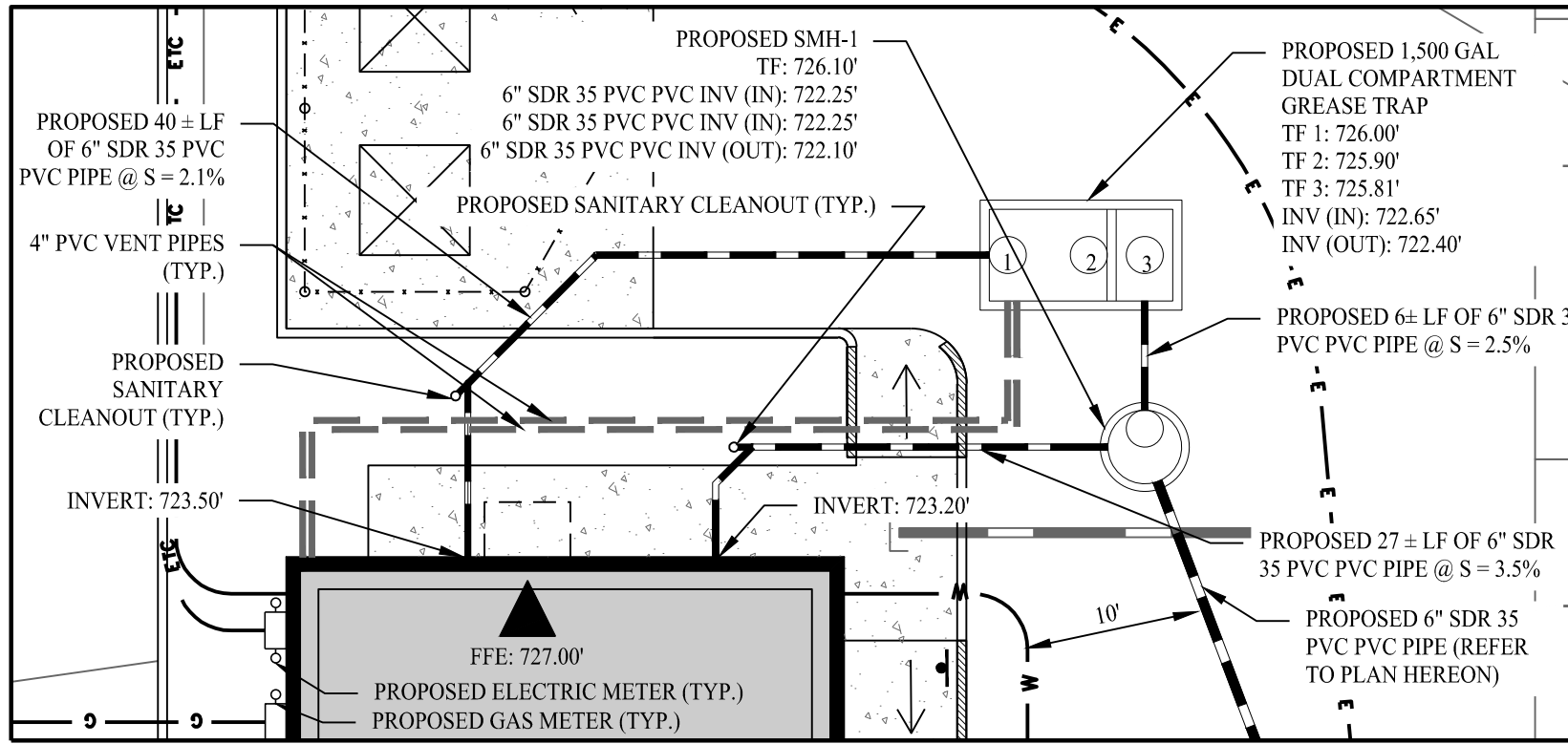
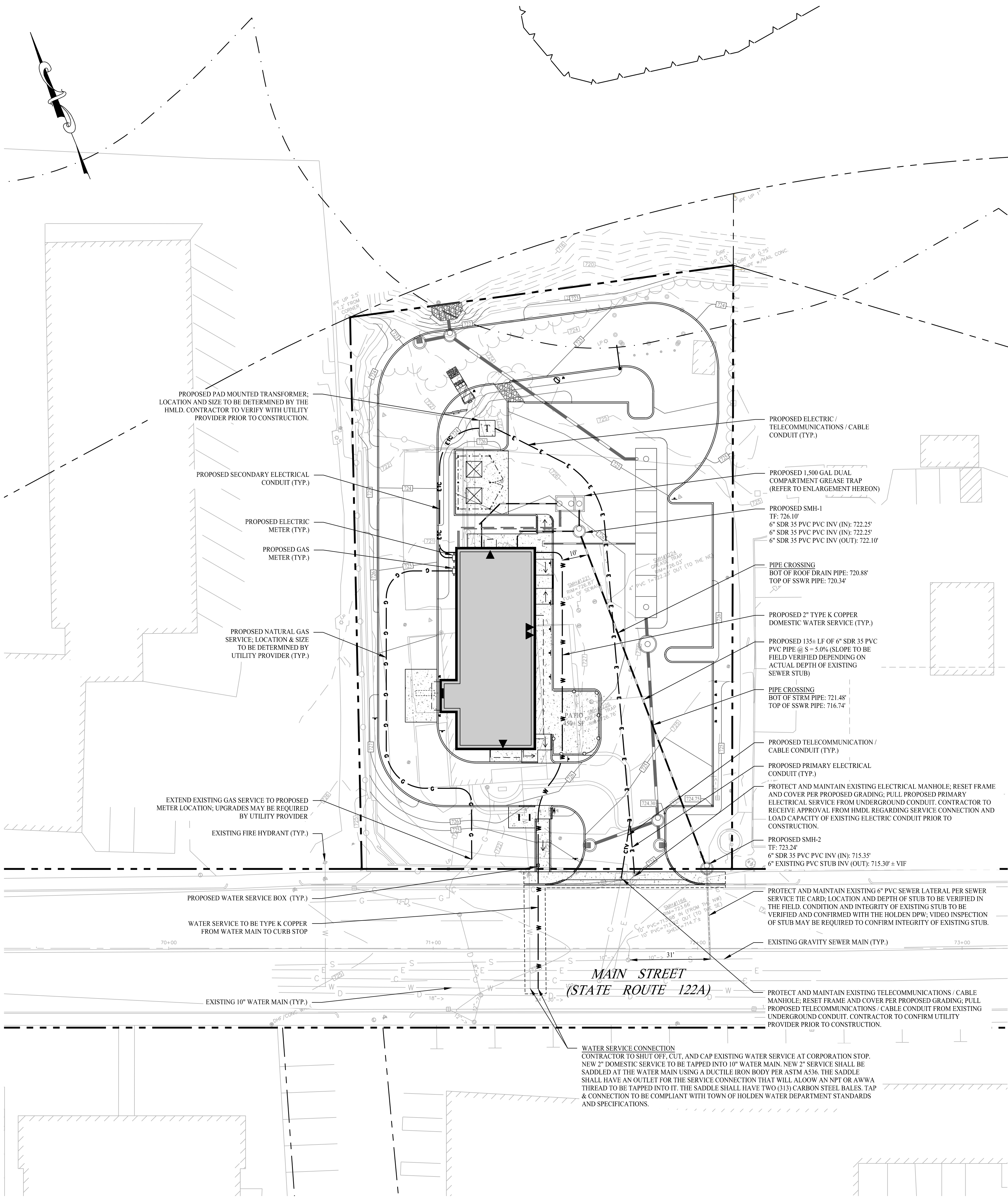
788 MAIN STREET
HOLDEN, MASSACHUSETTS

Sheet Title:

**SOIL EROSION &
SEDIMENT
CONTROL NOTES
& DETAILS**

Sheet #:

2.41



UTILITY ENLARGEMENT

SCALE: 1" = 10'

LEGEND

---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJOINING LOT LINE
W W W	WATER MAIN / LATERAL
G G G	GAS LINE
E E E	ELECTRIC CONDUIT
CNV	CABLE & TELEPHONE CONDUIT
ETC	UNDERGROUND ELECTRIC, TELEPHONE AND CABLE LINES
---	SANITARY SEWER PIPE
⊠	GREASE TRAP
⊙	SANITARY SEWER MANHOLE
⊙	ELECTRIC METER
⊙	GAS METER
⊙	ELECTRIC TRANSFORMER
⊠	WATER SERVICE BOX

Sewer Flow Design				
Type of Establishment	Total Square Footage / Seats	Unit	Gallons Per Day Per Unit	Total Gallons Per Day
Coffee Shop (Fast-Food)	2,410 SF / 62 Seats	1 Seat	20 GPD	1,240 GPD
Total				1,240 GPD

Grease Trap Flow Design					
Type of Establishment	Total Square Footage / Seats	Unit	Gallons Per Day Per Unit	Total Gallons Per Day	Recommended Grease Trap Size
Coffee Shop (Fast-Food)	2,410 SF / 62 Seats	1 Seat	15 GPD	930 GPD	1,500 Gallons

GENERAL NOTES

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF HOLDEN FOR THIS PROJECT.
- EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN TITLED "EXISTING CONDITIONS", DATED AUGUST 22, 2023, SCALE: 1"=15', PREPARED BY NORTHEAST SURVEY CONSULTANTS.
- THE HORIZONTAL DATUM IS NAD83 (MASS. MAINLAND).
- THE VERTICAL DATUM IS NAVD83.
- THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 0.715+/- ACRES LOCATED WITHIN THE TOWN OF HOLDEN ZONING DISTRICT COMMERCIAL (C). RESTAURANT USES ARE PERMITTED BY SPECIAL USE PERMIT WITHIN THIS DISTRICT.

UTILITY NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROLS NECESSARY FOR THIS PROJECT.
- UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT TDG SAFE 72 HOURS BEFORE COMMENCEMENT OR WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING, OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OF RECORD OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
- ALL UTILITY WORK PROPOSED WITHIN THE TOWN OF HOLDEN RIGHT-OF-WAY SHALL COMPLY WITH TOWN OF HOLDEN DPW AND ENGINEERING STANDARDS AND SPECIFICATIONS. PROPOSED UTILITY WORK WILL REQUIRE LANE CLOSURES. COORDINATION WITH THE ENGINEER OF RECORD WILL BE NEEDED FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLANS.
- ALL DISTURBANCE TO CITY, COUNTY, OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
- ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
- ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE WATER SERVICE SHALL BE IN COMPLIANCE WITH THE TOWN OF HOLDEN WATER DEPARTMENT STANDARDS AND SPECIFICATIONS.
- ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE SEWER SERVICE SHALL BE IN COMPLIANCE WITH THE TOWN OF HOLDEN SEWER DEPARTMENT STANDARDS AND SPECIFICATIONS.
- ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE ELECTRIC SERVICE SHALL BE IN COMPLIANCE WITH NATIONAL GRID STANDARDS AND SPECIFICATIONS.
- ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE GAS SERVICE SHALL BE IN COMPLIANCE WITH NATIONAL GRID STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES 72 HOURS PRIOR TO BEGINNING OF EXCAVATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP AND TIE-IN FEES REQUIRED BY UTILITY PROVIDERS.

ABBREVIATIONS

@	AT
CI	CAST IRON
DPW	DEPARTMENT OF PUBLIC WORKS
EX	EXISTING
FFE	FINISHED FLOOR ELEVATION
GAL	GALLON
GT	GREASE TRAP
HMDL	HOLDEN MUNICIPAL LIGHT DEPARTMENT
INV	INVERT
LF	LINEAR FEET
MIN	MINIMUM
PR	PROPOSED
PVC	POLYVINYL CHLORIDE
S	SLOPE
(S)	SOUTH
SCH	SCHEDULE
SDR	STANDARD
SMH	SEWER MANHOLE
SSWR	SANITARY SEWER
STRM	STORM
(SW)	SOUTHWEST
TF	TOP OF FRAME
TYP	TYPICAL
VIF	VERIFY IN FIELD

2

01/12/24

Response to Comment #2

1

12/05/23

Response to Comment #1

Rev. #:

Date

Description

Graphic Scale:

20

0

20

40

SOLLI

ENGINEERING

501 Main Street, Monroct, CT 06468

T: (203) 880-5455

F: (203) 880-9695

11 Vanderbilt Ave, Norwood, MA 02062

T: (781) 352-8491

F: (203) 880-9695

Drawn By:

STM

Checked By:

CJB

Approved By:

KMS

Project #:

23204001

Plan Date:

10/06/23

Scale:

1" = 20'

Project:

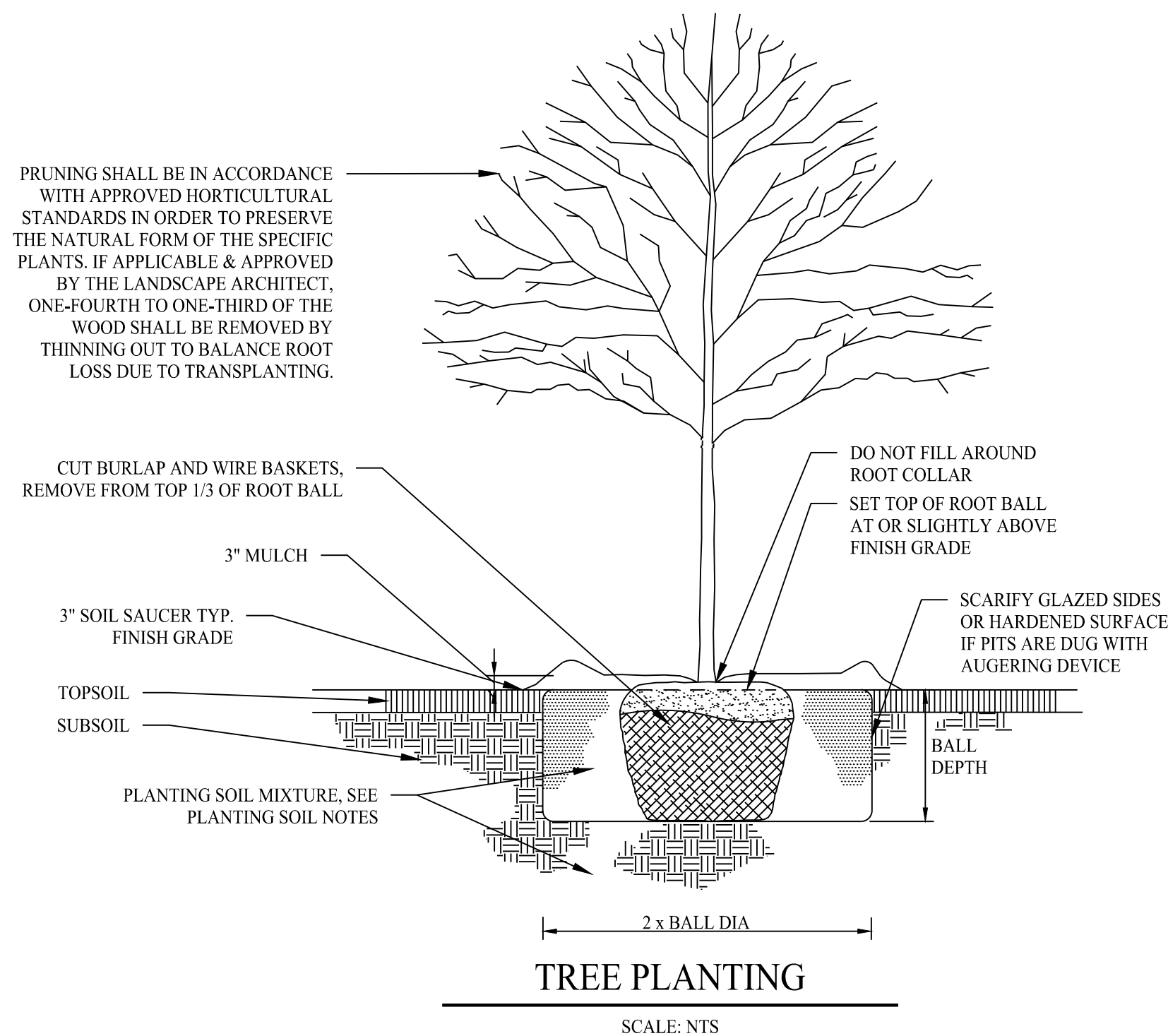
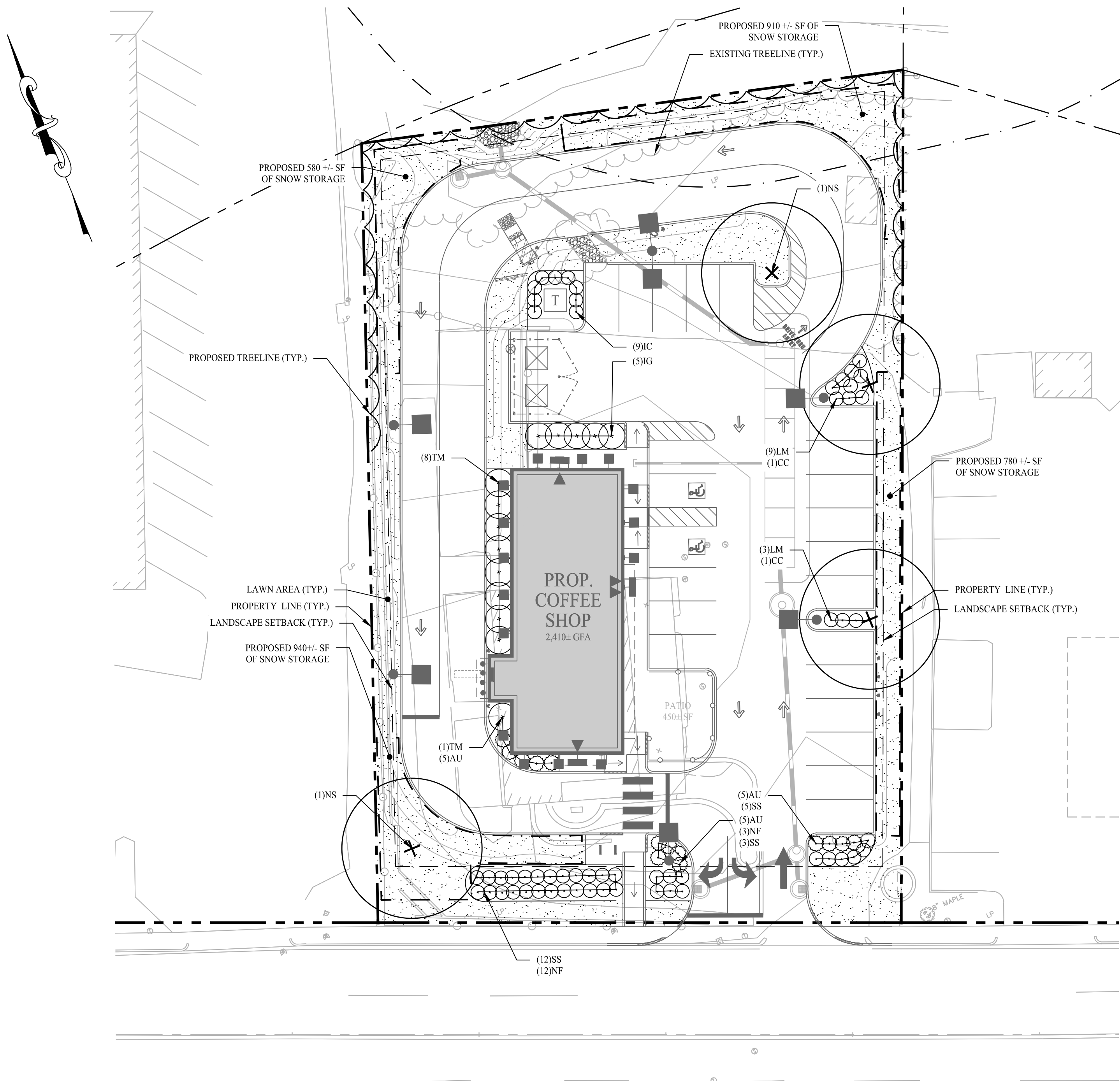
PROPOSED
COFFEE SHOP
REDEVELOPMENT
789 MAIN STREET
HOLDEN, MASSACHUSETTS

Sheet Title:

SITE
UTILITY
PLAN

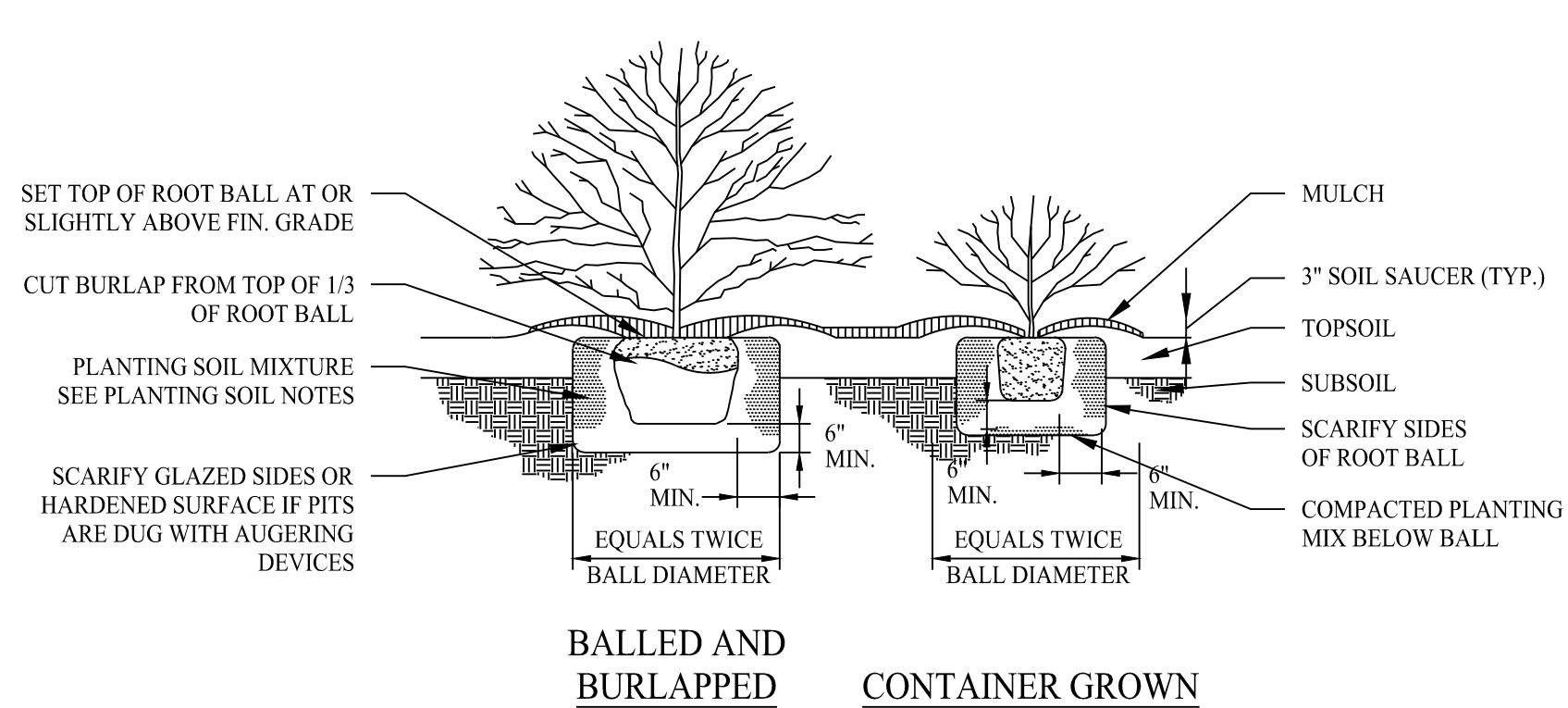
Sheet #:

2.51



TREE PLANTING

SCALE: NTS



SHRUB / GROUNDCOVER PLANTING

SCALE: NTS

PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
TREES						
CC	2	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	B&B	3"-3 1/2" CAL*	FULL, EXTRA HEAVY
NS	2	NYSSA SYLVATICA	BLACKGUM	B&B	3"-3 1/2" CAL*	FULL, EXTRA HEAVY
SHRUBS						
IC	9	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL JAPANESE HOLLY	CONT	3 GAL	FULL, EXTRA HEAVY
IG	5	ILEX GLABRA 'COMPACTA'	COMPACTA INKBERRY	CONT	3 GAL	FULL, EXTRA HEAVY
TM	9	TAXUS X MEDIA 'HICKS'	HICKS YEW	CONT	3 GAL	FULL, EXTRA HEAVY
GRASSES / PERENNIALS / GROUNDCOVER						
AU	15	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	CONT	1 GAL	FULL, EXTRA HEAVY
LM	12	LIRIOPE MUSCARI	LILY TURF	CONT	1 GAL	FULL, EXTRA HEAVY
NF	15	NEPETA FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	CONT	1 GAL	FULL, EXTRA HEAVY
SS	20	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	CONT	1 GAL	FULL, EXTRA HEAVY
SEED MIXES						
LAWN: PENNINGTON SMART SEED SUN AND SHADE						
APPLICATION RATE NEW LAWNS: 9 LB/1000 S.F.						

* MEASURED 2" ABOVE GROUND PER CHAPTER 7.1 SECTION 8 OF PARKING LOADING REGULATIONS FOR THE TOWN OF HOLDEN, MASSACHUSETTS

NO SUBSTITUTION TO ANY PLANT MATERIAL PROPOSED ON THIS PLAN SHALL BE PERMITTED WITHOUT PRIOR NOTIFICATION TO BOTH THE LANDSCAPE DESIGNER AND TOWN OF HOLDEN, MASSACHUSETTS

PLANTING NOTES

- BE AWARE OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING OPERATIONS. USE CARE TO PROTECT EXISTING UTILITIES FROM DAMAGE, CONTACT "DIG SAFE 811" PRIOR TO EXCAVATION.
- ALL PLANTINGS ARE TO BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR.
- THE CONTRACTOR SHALL BE REQUIRED TO CARRY WORKMEN'S COMPENSATION INSURANCE AND COMPREHENSIVE GENERAL LIABILITY INSURANCE. CERTIFICATES WILL BE REQUIRED PRIOR TO SIGNING CONTRACTS.
- CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY. CONTRACTOR SHALL MAINTAIN A SAFE JOBSITE AT ALL TIMES.
- CONTRACTOR SHALL BE FAMILIAR WITH THE SITE TO VERIFY ALL DIMENSIONS, GRADES, AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES REQUIRED FOR COMPLETING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL EXCAVATED SOIL, BRUSH, AND DEBRIS OFF-SITE IN A SAFE AND LEGAL MANNER.
- NOTIFY OWNER OR LANDSCAPE DESIGNER 72 HOURS MINIMUM IN ADVANCE OF STARTING PLANTING OPERATIONS. RECEIVE APPROVAL FOR LAYOUT OF ALL BED LINES AND MATERIAL LOCATIONS PRIOR TO INSTALLATION.
- PROTECT EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION. IT IS THE INTENT OF THIS CONTRACT TO AVOID ANY DISTURBANCE TO EXISTING VEGETATION ON THE SITE OTHER THAN THOSE SPECIFICALLY DESIGNATED FOR REMOVAL. ADJUSTMENTS SHALL BE MADE IN THE FIELD AT THE DIRECTION OF THE LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL PLANTING, SEEDING, AND TREE WORK WITH OTHER TRADES. RESPECT OTHER TRADES WORK AT ALL TIMES.
- CONTRACTOR IS TO EXERCISE EXTREME CARE DURING THE COURSE OF DEMOLITION AND REMOVALS ANY DAMAGE TO EXISTING FACILITIES, UTILITIES, OR TREES TO REMAIN SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE IN KIND.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL AREAS DAMAGED TO PRE-EXISTING CONDITIONS AS A RESULT OF PLANTING OPERATIONS TO OWNERS AND/OR LANDSCAPE DESIGNERS APPROVAL.
- VEGETATION TO BE REMOVED, NOT INDICATED ON PLAN, SHALL BE TAGGED IN FIELD BY LANDSCAPE DESIGNER.
- THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REJECT INFERIOR PLANT MATERIALS AND SUBSTITUTIONS. THE LANDSCAPE DESIGNER IS WILLING TO MAKE TWO TRIPS TO SUPPLIERS TO TAG, REVIEW AND APPROVE MATERIALS. PREVIOUSLY UNAPPROVED MATERIALS MAY BE REJECTED AT THE SITE. MINIMALLY, ALL MATERIALS WILL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-2004) OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN GOOD, HEALTHY, AND FLOURISHING CONDITION FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AS SOON AS WEATHER AND SEASONAL CONDITIONS PERMIT, ALL DEAD PLANTS AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE DESIGNER DURING, AND AT THE END OF THE GUARANTEE PERIOD. WARRANTY REPLACEMENT WILL BE PROVIDED AT NO COST TO THE OWNER AND INCLUDE MATERIALS AND LABOR. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE INCURRED DURING REPLACEMENT OF WARRANTY MATERIALS.
- WHEN THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES SHOWN ON THE PLANT LIST AND THE PLAN, USE THE QUANTITIES FROM THE PLAN.
- PERENNIALS, GROUNDCOVERS, AND GRASSES TO BE FIELD LOCATED BY LANDSCAPE DESIGNER. COORDINATE TO NOTIFY LANDSCAPE DESIGNER AT LEAST 72 HOURS IN ADVANCE OF EXPECTED INSTALLATION DATE. ON THAT DATE ALL BEDS SHALL BE PREPARED & ALL PLANT MATERIAL SHALL BE ON SITE.
- PROVIDE A MINIMUM 6" TOPSOIL FOR ALL DISTURBED AREAS. SUBMIT SAMPLE OF TOPSOIL AND SOIL TEST RESULTS FOR LANDSCAPE DESIGNER APPROVAL PRIOR TO DELIVERING TO SITE.
- MULCH ALL BEDS SHOWN AS CONTINUOUS WITH A 6" MINIMUM OF DOUBLE SHREDDED CEDAR BARK MULCH. SAMPLE TO BE SUBMITTED TO LANDSCAPE DESIGNER FOR APPROVAL.
- ALL PLANT MATERIALS TO BE SOURCED FROM LOCALLY GROWN GROWERS.

PLANTING SOIL NOTES

- ALL PLANTING MIXES SHALL BE PREPARED PRIOR TO DELIVERY TO SITE.
- PLANTING MIX FOR TREES AND SHRUBS SHALL BE AS FOLLOWS:
3 PARTS SCREED TOPSOIL
1 PART CLEAN WASHED COARSE SAND
1 PART PEAT HUMUS
5 LBS. SUPER PHOSPHATE PER CUBIC YARD OF MIX
- MYCORRHIZAL INOCULANT TO BE MYCOR TREE SAVER TRANSPLANT BY PLANT HEALTH CARE, INC. (1-800-421-9051) OR APPROVED EQUAL.
- TERRASORB AVAILABLE FROM PLANT HEALTH CARE, INC. OR APPROVED EQUAL
- SUBMIT CERTIFICATION OF PLANTING MIX FOR TREES AND SHRUBS FROM SOIL DISTRIBUTOR.
- TOPSOIL MIX SHALL INCLUDE:
3 PARTS SCREENED TOPSOIL
1 PART SAND
1 PART HUMUS
5 LBS. SUPER PHOSPHATE PER CU. YD. OF MIX
- TOPSOIL:
A. PROVIDE A NATURAL, FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH OF UNIFORM COMPOSITION THROUGHOUT AND WITHOUT ADMIXTURES OF SUBSOIL, AND FREE OF STONES, LUMPS, PLANTS, ROOTS, STICKS OR OTHER EXTRANEIOUS MATTER.
B. TOPSOIL SHALL CONTAIN NOT LESS THAN 4% NOR MORE THAN 20% ORGANIC MATTER AS DETERMINED BY THE WET COMBUSTION METHOD.
C. MECHANICAL ANALYSIS

SCREEN SIZE	% BY WEIGHT PASSING
1"	100
1/4"	97 - 100
NO. 200	20 - 65

D. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL TESTING AND ANALYSIS OF EXISTING AND IMPORTED SOILS. FURNISH A SOIL ANALYSIS MADE BY A QUALIFIED INDEPENDENT SOIL-TESTING AGENCY STATING PERCENTAGES OF ORGANIC MATTER, INORGANIC MATTER (SILT, CLAY, AND SAND), DELETERIOUS MATERIAL, PH, AND MINERAL AND PLANT-NUTRIENT CONTENT OF TOPSOIL.
E. REPORT SUITABILITY OF TOPSOIL FOR LAWN AND SHRUB PLANTING GROWTH. RECOMMEND QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENT AND ANY LIMESTONE, ALUMINUM SULFATE, OR OTHER SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL.

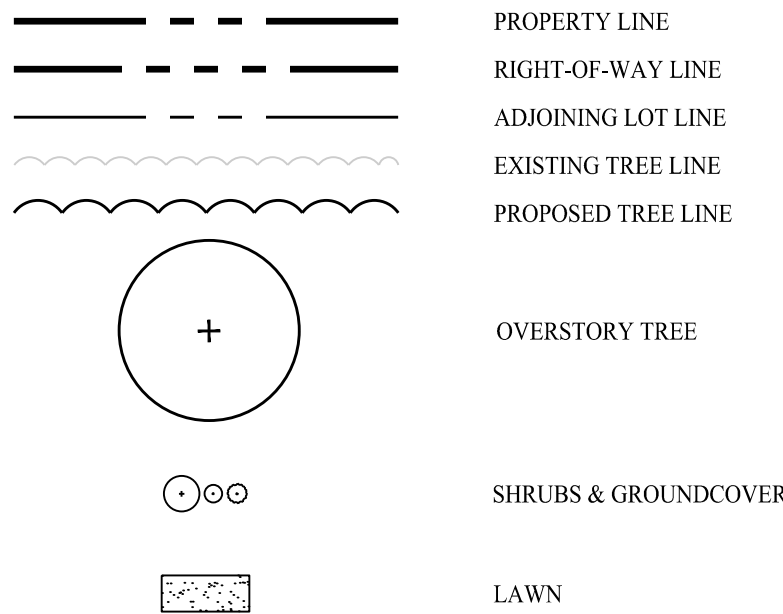
GENERAL NOTES

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF HOLDEN FOR THIS PROJECT.
- EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN TITLED "EXISTING CONDITIONS", DATED AUGUST 22, 2023, SCALE: 1"=15', PREPARED BY NORTHEAST SURVEY CONSULTANTS.
 - THE HORIZONTAL DATUM IS NAD83 (MASS. MAINLAND).
 - FIELD SURVEY BY EDM TOTAL STATION & RTK GPS IN AUGUST 2023.
 - THE VERTICAL DATUM IS NAVD83.
- THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 0.71± ACRES LOCATED WITHIN THE TOWN OF HOLDEN ZONING DISTRICT COMMERCIAL (C). RESTAURANT USES ARE PERMITTED BY SPECIAL USE PERMIT WITHIN THIS DISTRICT.

LANDSCAPE COMPLIANCE TABLE			
LANDSCAPE REQUIREMENTS	ZONING STANDARD*	REQUIRED	PROPOSED
FRONT PERIMETER LANDSCAPE AREA	IN ALL C AND BO-P DISTRICTS THIRTY PERCENT (30%) OF THE FIFTEEN (15) FOOT SETBACK REQUIRED UNDER SUBSECTION (5)(D) BELOW SHALL CONSIST OF A LANDSCAPING BUFFER WITH LOW LYING VEGETATION NOT EXCEEDING THREE (3) IN HEIGHT.	TOTAL AREA = 1,575 S.F.	TOTAL AREA = 478 S.F. 478 SQ/FT / 1575 S.F. = 0.30
SIDE & REAR PERIMETER LANDSCAPE AREA	THE ENTIRE REQUIRED FIVE (5) FOOT SIDE AND REAR YARD SETBACK SHALL CONSIST OF A LANDSCAPING BUFFER.	VEGETATION	LAWN AREA
INTERNAL PARKING AREAS	1 SHADE TREE PER 10 PARKING SPACES	23 PARKING SPACES / 10 = 2.3 TREES	3 TREES

* PER CHAPTER 7.1 SECTION 8 OF PARKING LOADING REGULATIONS FOR THE TOWN OF HOLDEN, MASSACHUSETTS

LEGEND



Drawn By: JJS
Checked By: MFB
Approved By: KMS
Project #: 23204001
Plan Date: 10/06/23
Scale: 1" = 20'



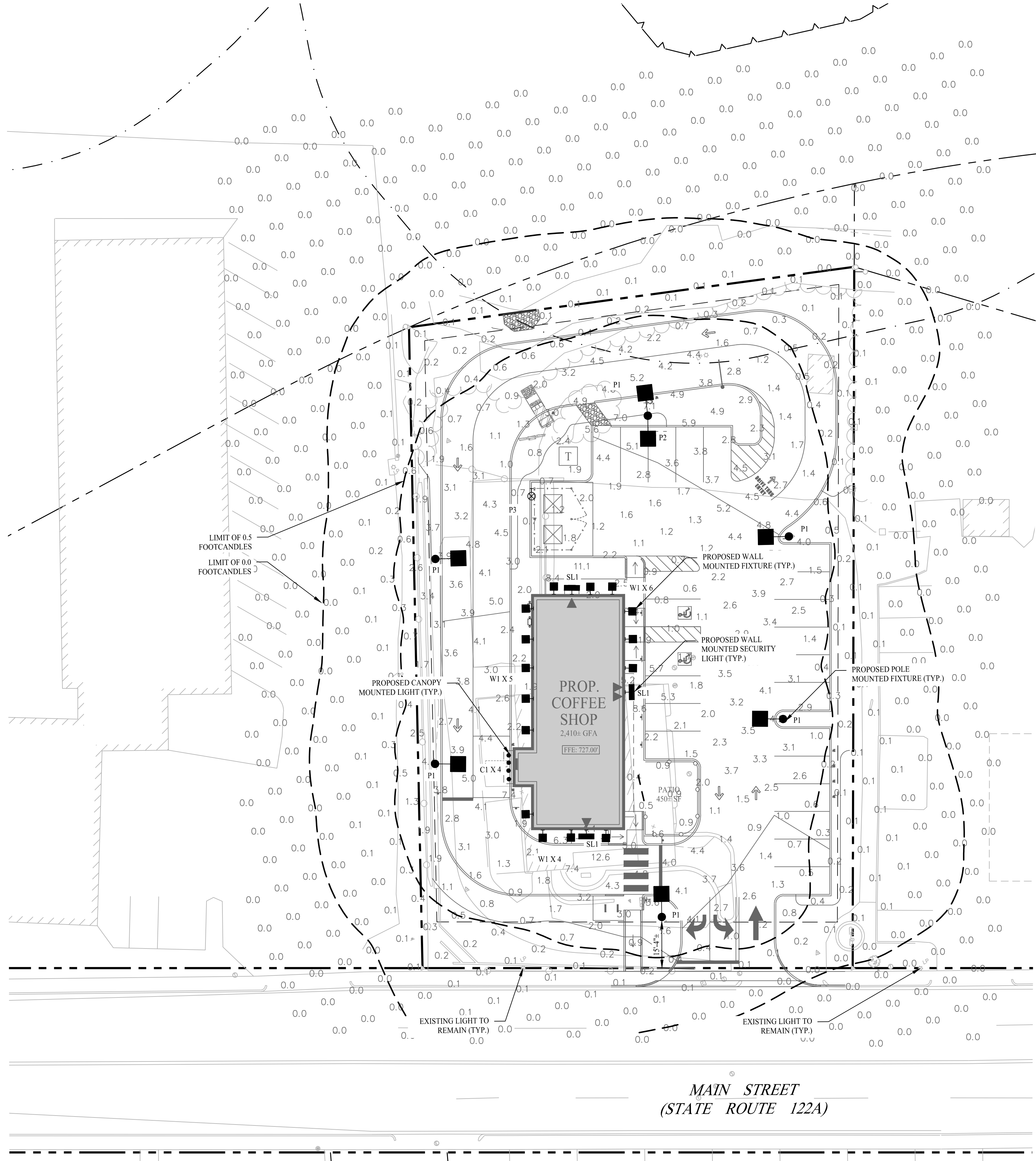
Project:
**PROPOSED
COFFEE SHOP
REDEVELOPMENT**
788 MAIN STREET
HOLDEN, MASSACHUSETTS

Sheet Title:

LANDSCAPE
PLAN

Sheet #:

2.61



FIXTURE SCHEDULE						
QTY	CALLOUT	SYMBOL	FIXTURE DESCRIPTION	MODEL	NOTES	MAXIMUM FOOTCANDLES
15	W1		WALL MOUNTED FIXTURE	TECH LIGHTING, WINDFALL WALL SCONCE, PRODUCT 7000WWDN - B	20W 3K LED, 6' MOUNTING HEIGHT	0.6 FC
3	SL1		WALL MOUNTED FIXTURE	LITHONIA LIGHTING, WST LED P2 30K VW MVOLT DS VG	25W 3K LED, 10' MOUNTING HEIGHT	5.0 FC
6	P1		POLE MOUNTED FIXTURE	CREE LIGHTING OSQ LED SERIES, MODEL OSQ-BLMSF-A-NM-2ME-B-30K, POWDER COATED ALUMINUM	86W 3K LED, 17' MOUNTING HEIGHT	4.9 FC
1	P2		POLE MOUNTED FIXTURE	CREE LIGHTING OSQ LED SERIES, MODEL OSQ-BLMSF-A-NM-4ME-B-30K, POWDER COATED ALUMINUM	86W 3K LED, 17' MOUNTING HEIGHT	4.0 FC
1	P3		POLE MOUNTED FIXTURE	LED SOLAR SECURITY FLOOD LIGHT, DOUBLE BACK MOTION ACTIVATED 19135	9' MOUNTING HEIGHT	
4	C1		CANOPY MOUNTED FIXTURE	ALPHABET LIGHTING, ECO NU3-RAPH-SW-16LM-27K-90CRI-D50, DIM10Z-NC-BK	27W 3K LED, 9'-4" MOUNTING HEIGHT	7.5 FC

ZONING BYLAW		
ZONE: COMMERCIAL (C) DISTRICT		
ZONING STANDARD	REQUIRED	PROPOSED
MAX LIGHT FIXTURE HEIGHT	25 FEET	17 FEET
MAXIMUM FOOTCANDLE LEVEL	4.0 FC	7.5 FC
NO FREESTANDING LIGHTING POLES WITHIN CERTAIN DISTANCE OF THE FRONT YARD SETBACK	15 FEET	15.5 FEET

GENERAL NOTES

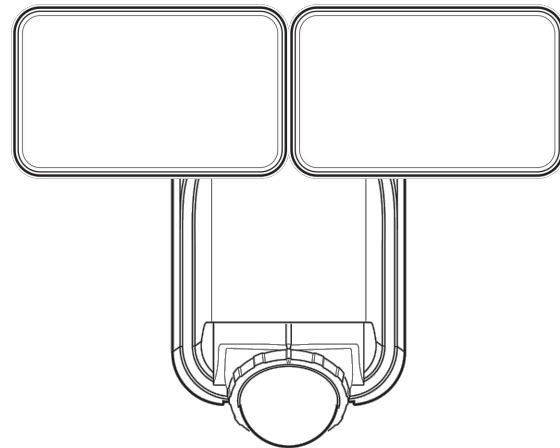
- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF HOLDEN FOR THIS PROJECT.
- EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN TITLED "EXISTING CONDITIONS" - DATED AUGUST 22, 2023, SCALE: 1"=15', PREPARED BY NORTHEAST SURVEY CONSULTANTS.
- THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 0.715+ ACRES LOCATED WITHIN THE TOWN OF HOLDEN ZONING DISTRICT COMMERCIAL (C). RESTAURANT USES ARE PERMITTED BY SPECIAL USE PERMIT WITHIN THIS DISTRICT.

LIGHTING NOTES

- ALL LIGHT FIXTURES TO BE MOUNTED AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
- ALL WORK AND RELATED MATERIALS SHALL COMPLY WITH TOWN, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.

LEGEND

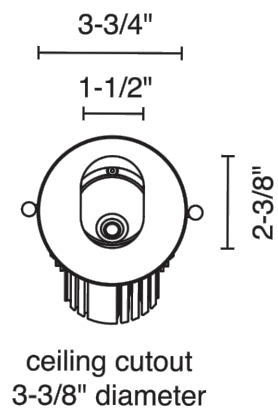
0.1 0.1 0.1	
0.1 0.1 0.0	PROPOSED FOOTCANDLES
0.1 0.0 0.0	
	PROPOSED WALL MOUNTED FIXTURE
	PROPOSED FENCE SECURITY LIGHT FIXTURE
	PROPOSED FENCE MOUNTED POLE FIXTURE
	PROPOSED POLE MOUNTED FIXTURE
	PROPOSED CANOPY MOUNTED FIXTURE
---	LINE OF 0.5 & 0.0 FOOTCANDLES



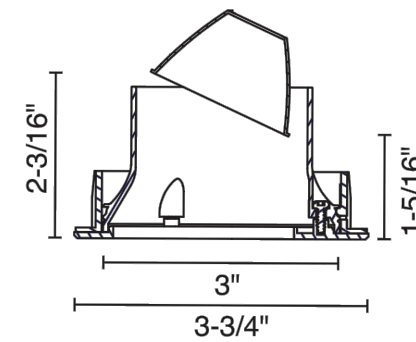
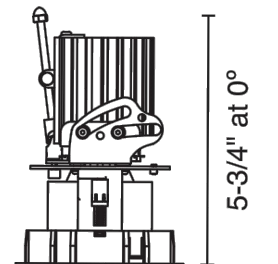
7163/7164

POLE MOUNTED LIGHT FIXTURE - P3

HEATH ZENITH, MODEL 7164
SCALE: NTS



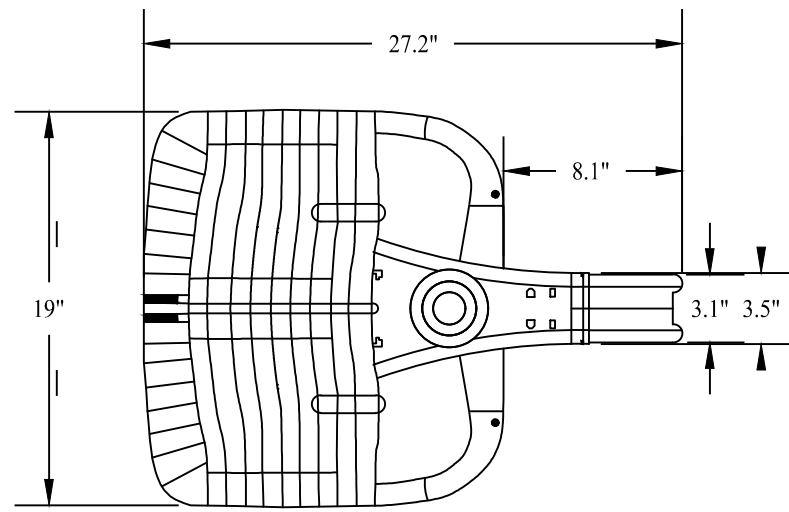
ceiling cutout
3-3/8" diameter



aperture dimensions
3-3/4"

PROPOSED CANOPY MOUNTED FIXTURE - C1

SCALE: NTS



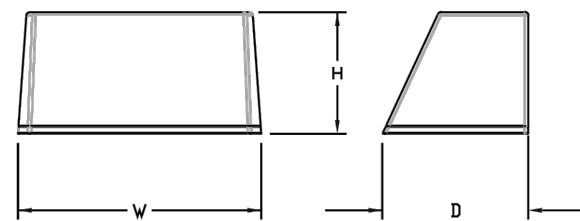
POLE MOUNTED LIGHT FIXTURE - P1 & P2

CREE LIGHTING, OSQ-A LED SERIES, BRONZE
SCALE: NTS

Specifications

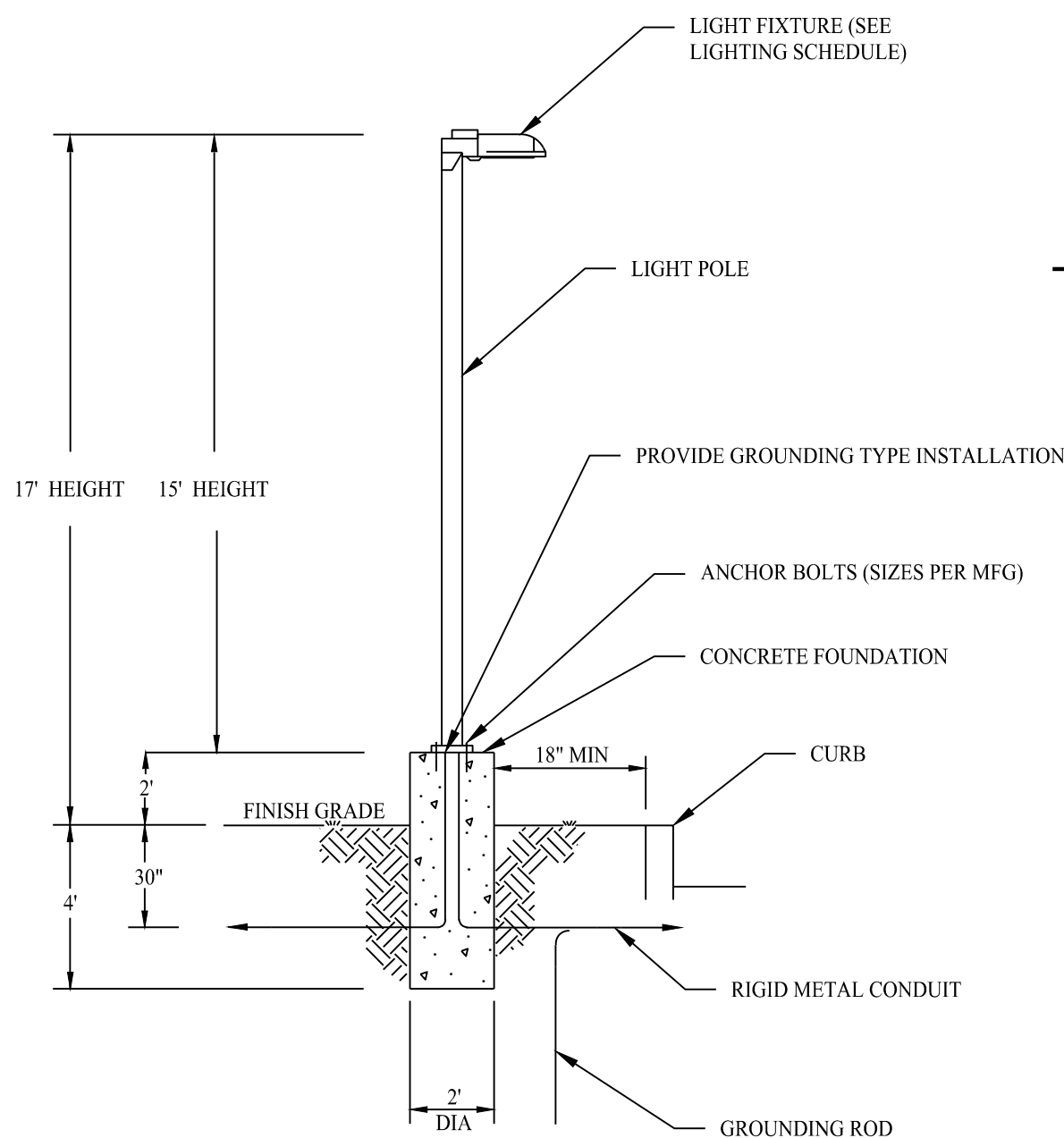
Luminaire

Height: 8-1/2"
(21.59 cm)
Width: 17"
(43.18 cm)
Depth: 10-3/16"
(25.9 cm)
Weight: 20 lbs
(9.1 kg)



WALL MOUNTED LIGHT FIXTURE - SL1

LITHONIA LIGHTING, WST LED
SCALE: NTS



PROPOSED LIGHT POLE - P1 & P2

SCALE: NTS

12/05/23 Response to Comment #1

Rev. #: Date Description

Graphic Scale:



501 Main Street, Monroe, CT 06468 T: (203) 880-5455 F: (203) 880-9695
11 Vanderbilt Ave, Norwood, MA 02062 T: (781) 352-8491 F: (203) 880-9695

Drawn By: MMH
Checked By: MFB
Approved By: KMS
Project #: 23204001
Plan Date: 10/06/23
Scale: 1" = 20'



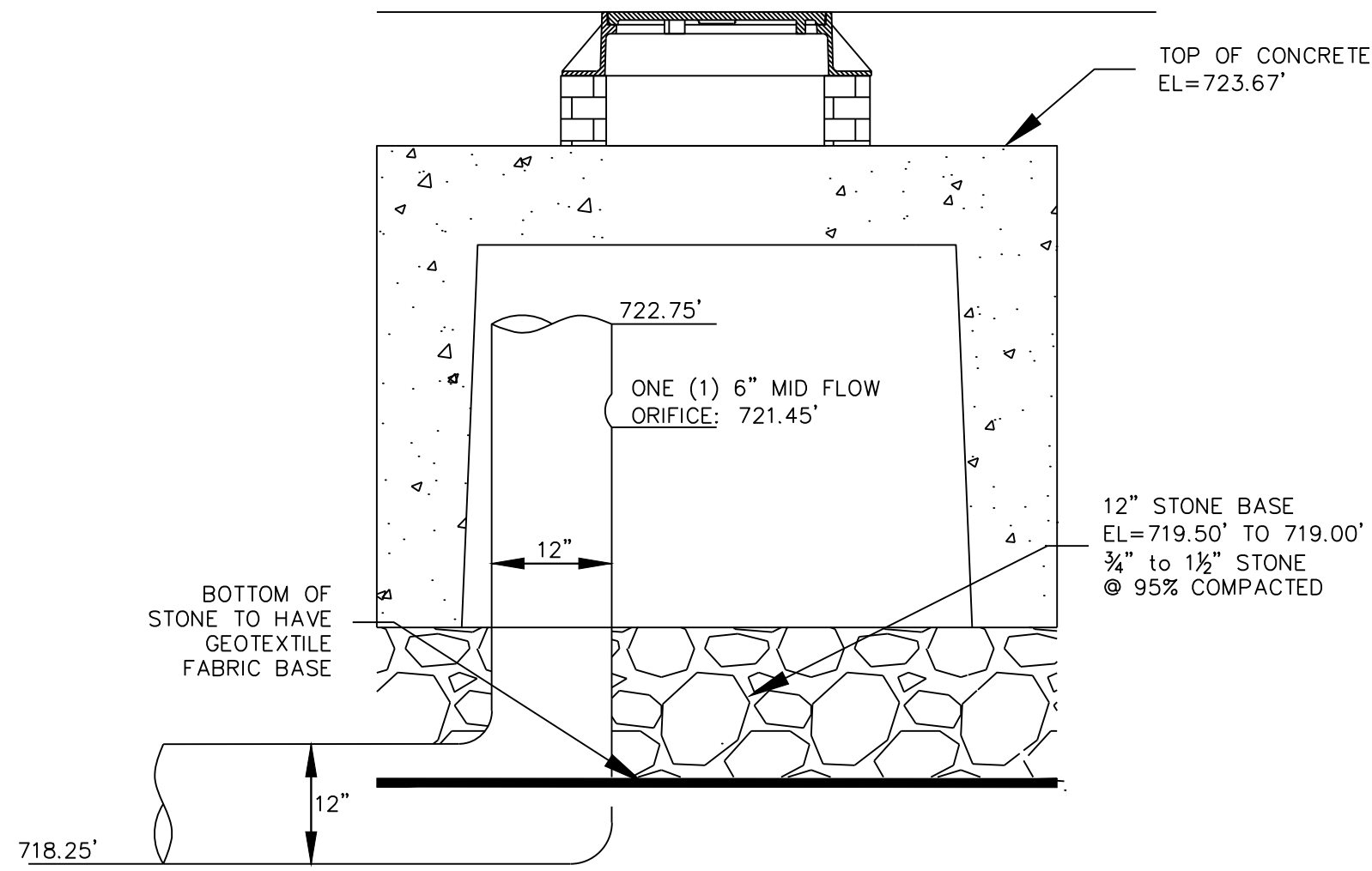
Kevin Solli, P.E.
MA 51952

Project:
**PROPOSED
COFFEE SHOP
REDEVELOPMENT**
788 MAIN STREET
HOLDEN, MASSACHUSETTS

Sheet Title: Sheet #:

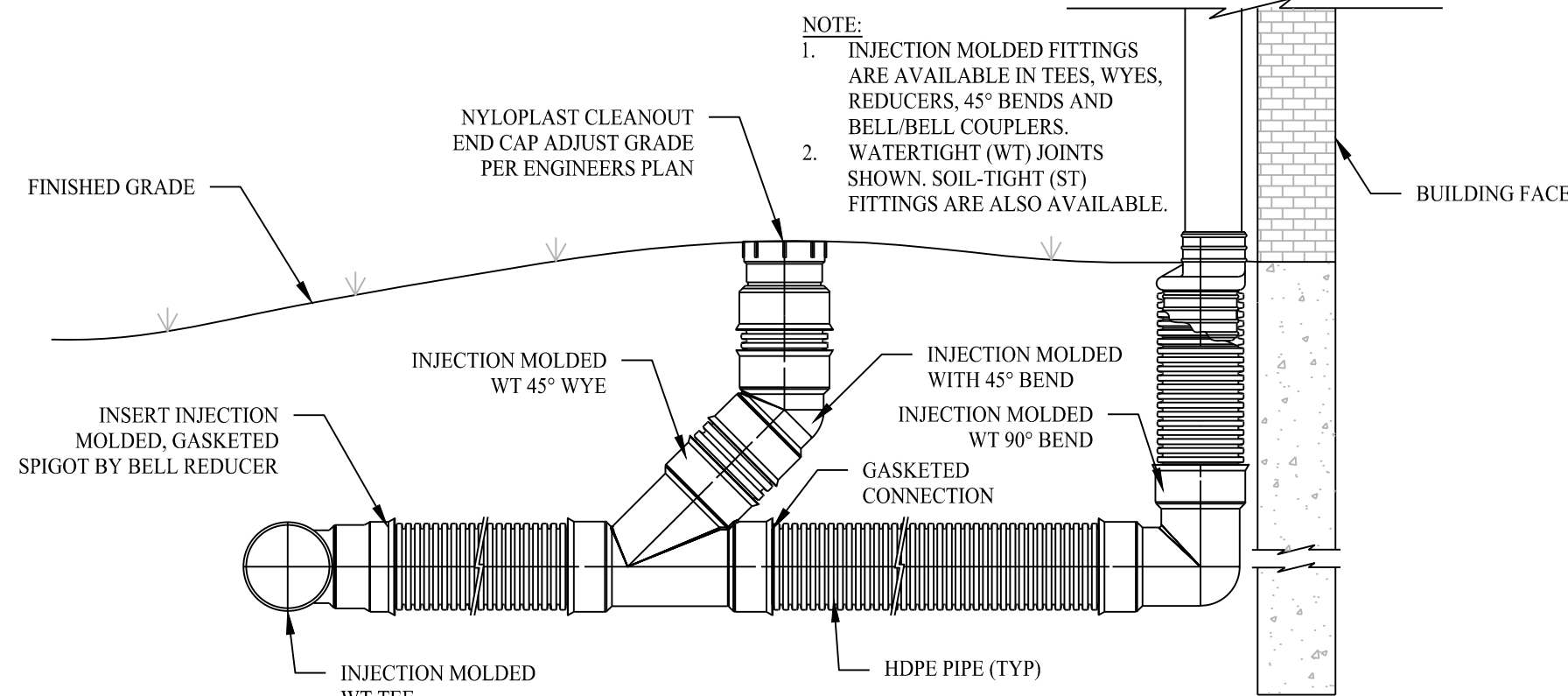
LIGHTING
PLAN

2.71



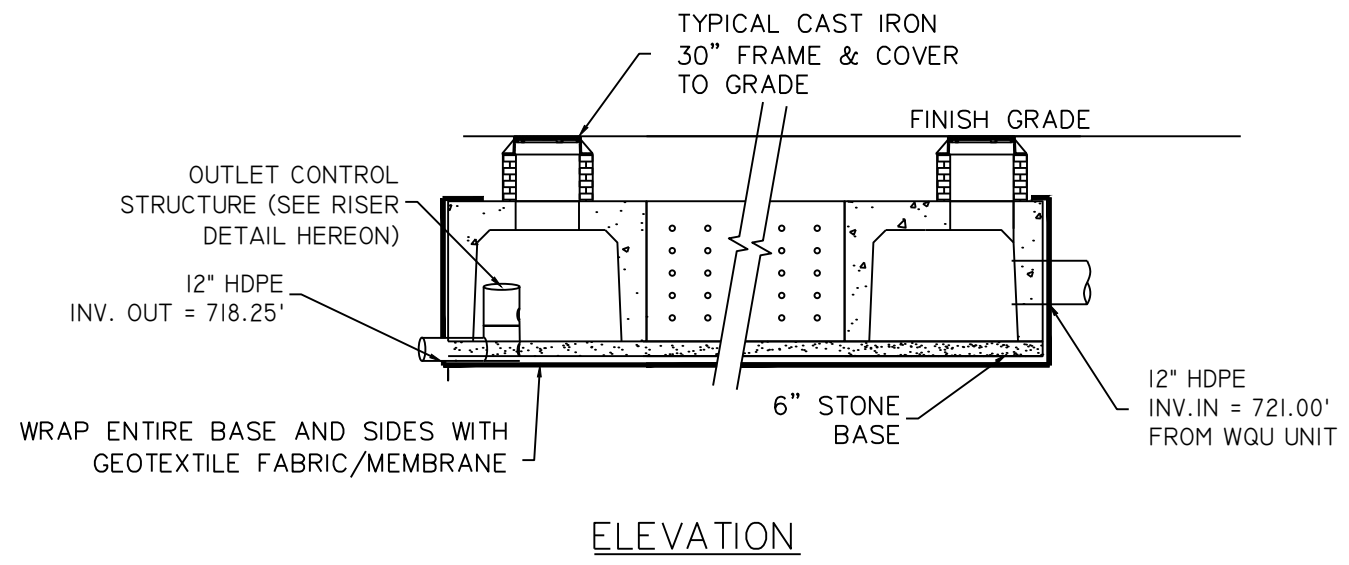
STORMWATER SYSTEM RISER DETAIL

SCALE: NTS

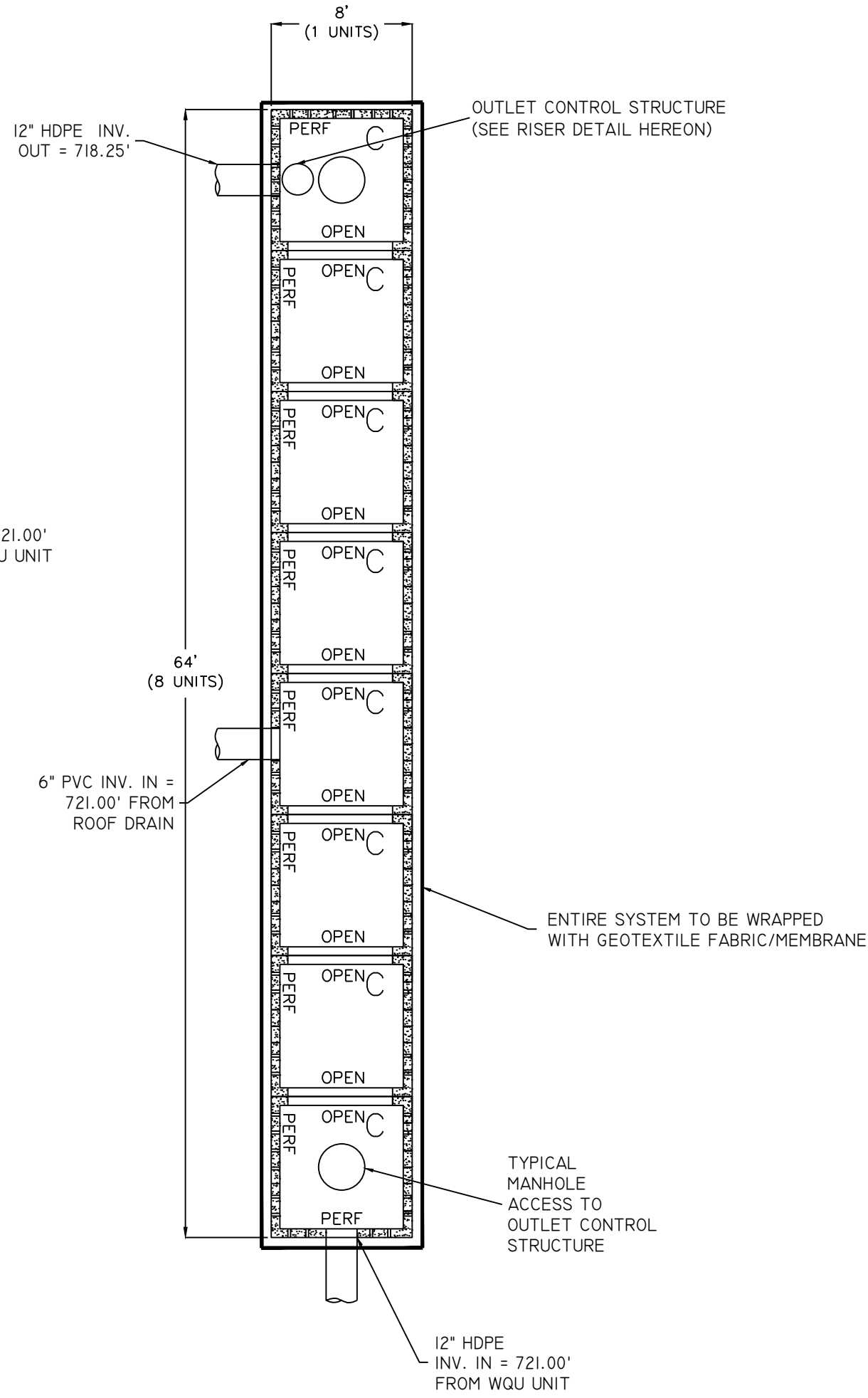


DOWNSPOUT CONNECTION DETAIL

SCALE: NTS



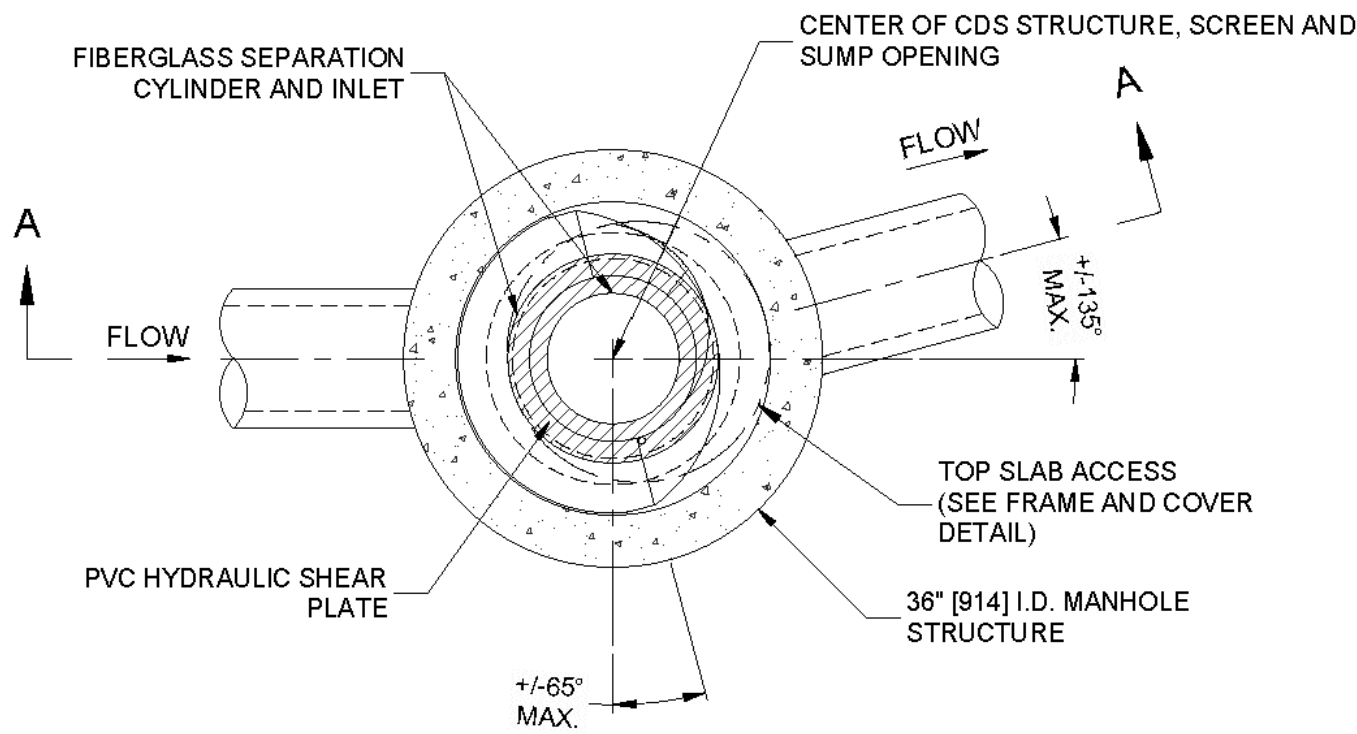
ELEVATION



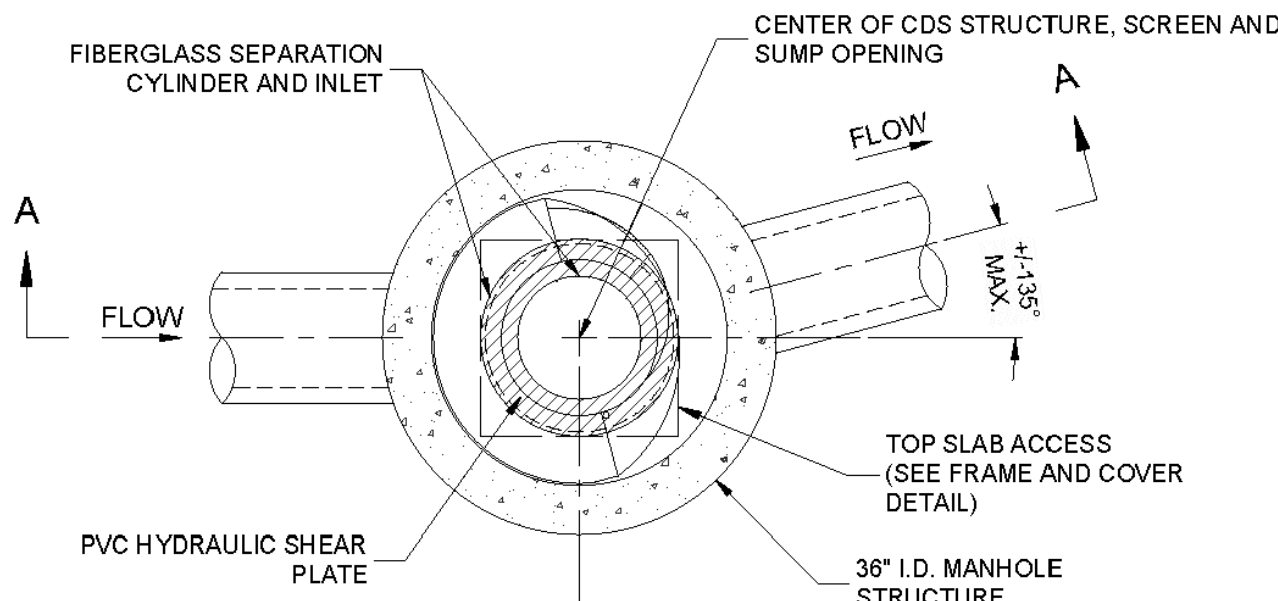
PLAN VIEW

UG STORMWATER SYSTEM DETAIL
(RETAIN-IT 3.5' CONCRETE CHAMBERS OR APPROVED EQUAL)

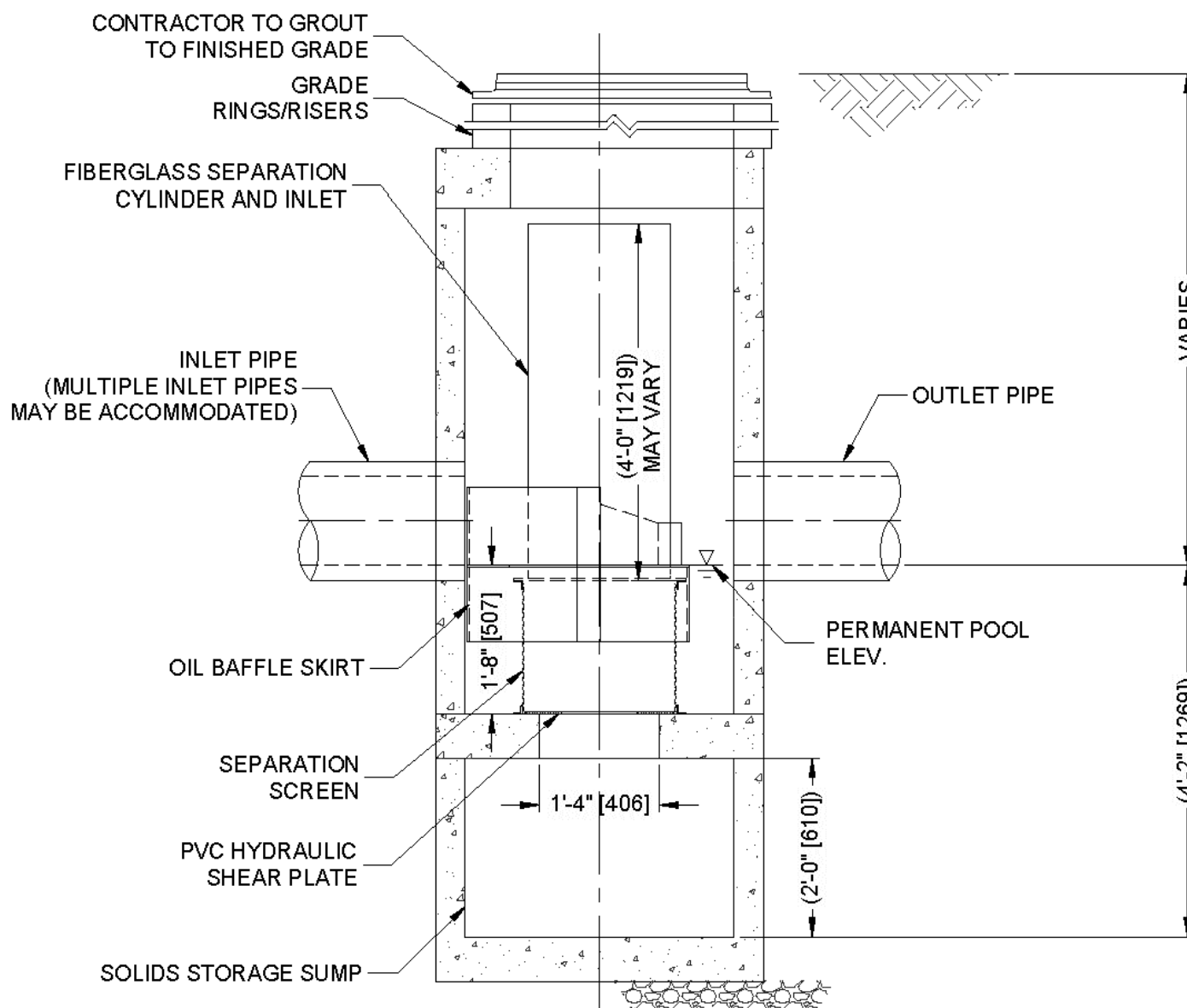
SCALE: NTS



PLAN VIEW B-B
N.T.S.



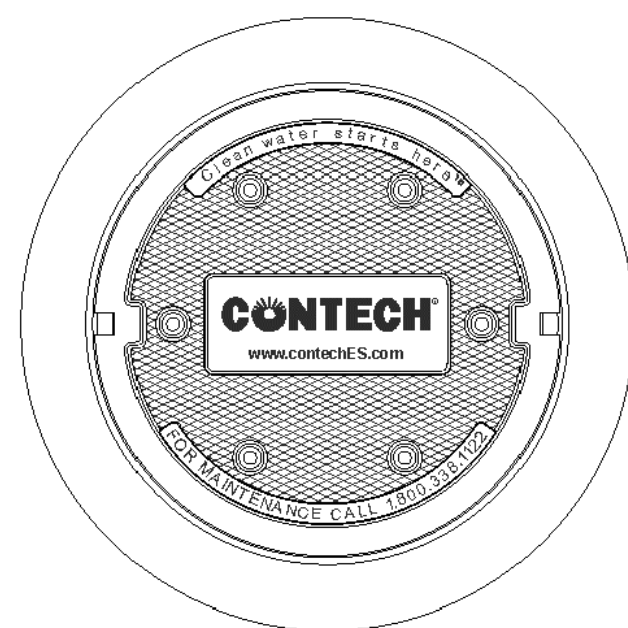
PLAN VIEW B-B
N.T.S.



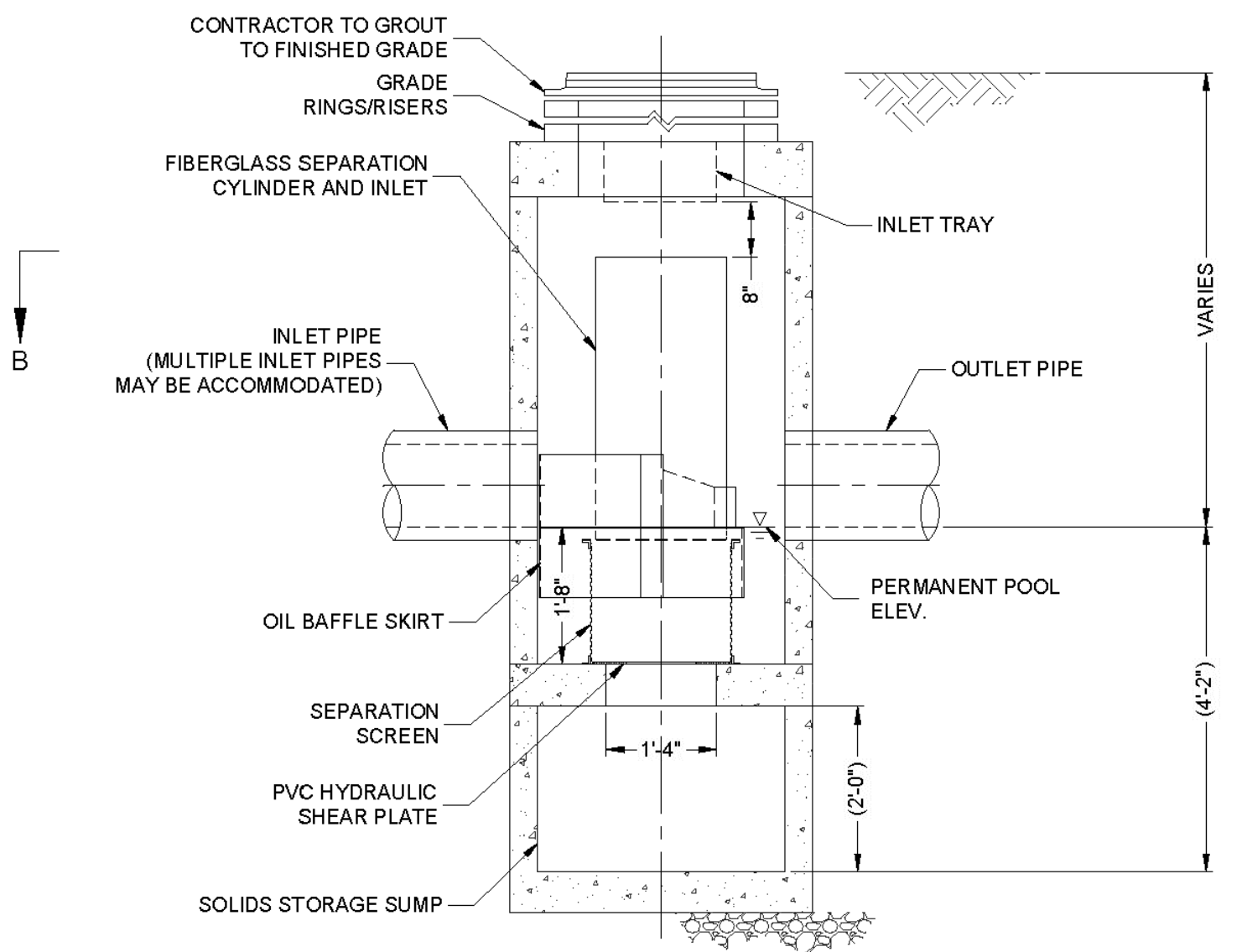
ELEVATION A-A
N.T.S.

WATER QUALITY UNIT (WQU #1) DETAIL
(CONTECH CDS1515-3-C OR APPROVED EQUAL)

SCALE: NTS



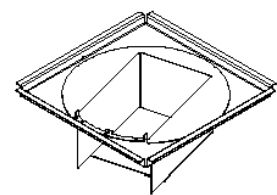
FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



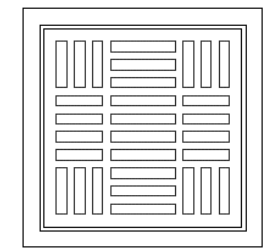
ELEVATION A-A
N.T.S.

WATER QUALITY UNIT (WQU #2) DETAIL
(CONTECH CDS1515-3-C OR APPROVED EQUAL)

SCALE: NTS



INLET TRAY
NOT TO SCALE



24" X 24" FRAME AND GRATE
(MAY VARY)
NOT TO SCALE

02/09/24 CC Comments / Updated PB Material

Rev. #: Date Description

SOLLI
ENGINEERING

501 Main Street, Monroe, CT 06468 T: (203) 880-5455 F: (203) 880-9695
11 Vanderbilt Ave, Norwood, MA 02062 T: (781) 352-8491 F: (203) 880-9695

Drawn By: STM

Checked By: CJB

Approved By: KMS

Project #: 23204001

Plan Date: 10/06/23

Scale: NTS



Kevin Solli, P.E.
MA 51952

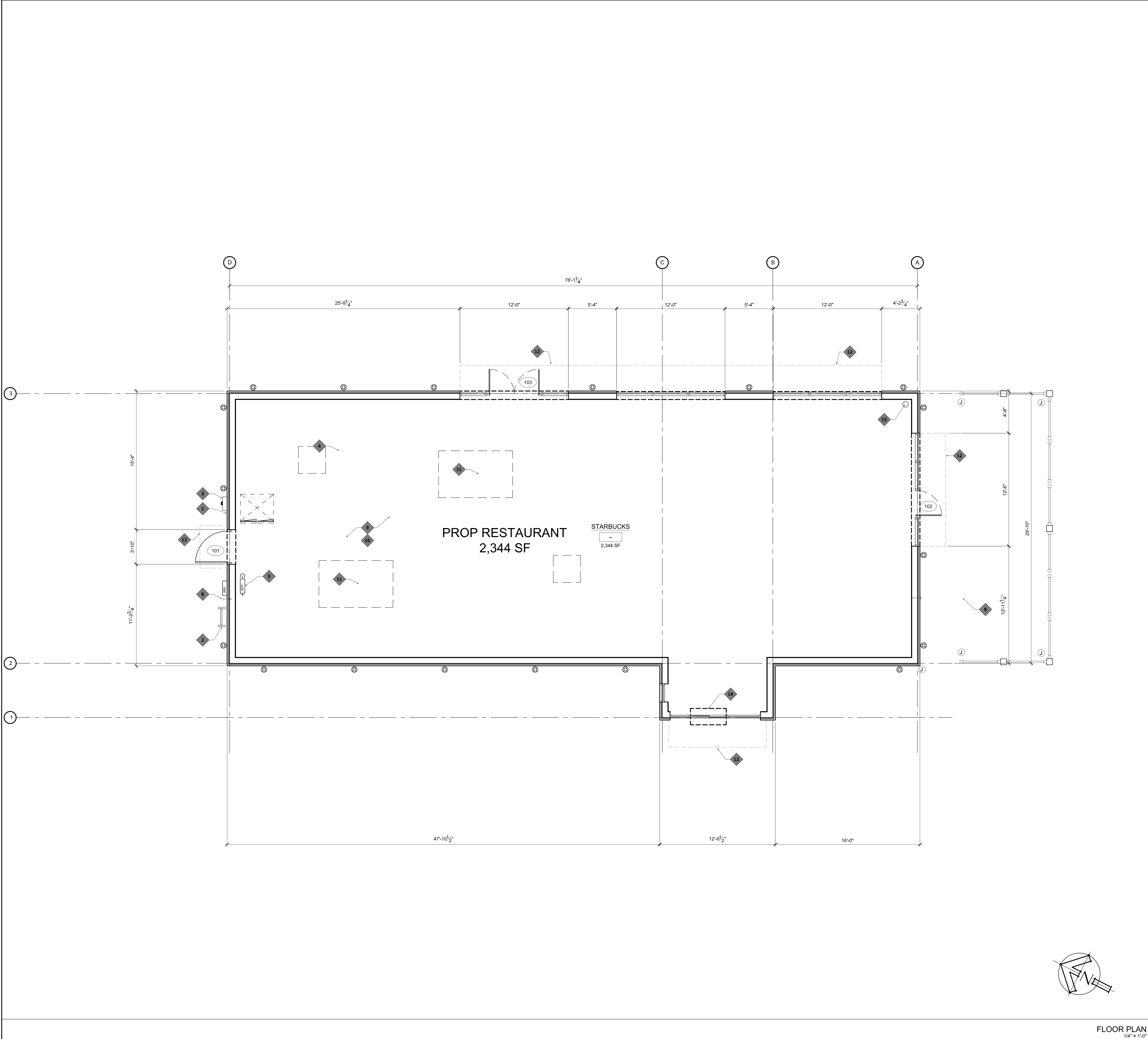
PROPOSED
COFFEE SHOP
REDEVELOPMENT
788 MAIN STREET
HOLDEN, MASSACHUSETTS

Sheet Title:

CONSTRUCTION
DETAILS

Sheet #:

3.05



PLAN GENERAL NOTES

- A. PARTITIONS ARE INDICATED ON FLOOR PLANS BY SYMBOL.
- B. "LINE OF STRUCTURE" INDICATED FOR EACH PARTITION IS DIAGRAMMATIC ONLY AND DOES NOT INDICATE EXACT CONSTRUCTION CONDITIONS OR GEOMETRY. TOP PLATE AND VOID FILLERS ARE NOT REQUIRED ON CONCRETE STRUCTURES.
- C. DO NOT ATTACH STUDS TO TOP SLIP TRACK.
- D. GYPSUM BOARD:
1. FIRE RESISTANT RATED PARTITIONS SHALL USE TYPE "X" FIRE RATED GYPSUM BOARD.
2. PARTITIONS IN HIGH MOISTURE AREAS SHALL USE MOISTURE RESISTANT GYPSUM BOARD, TO INCLUDE TOILET ROOMS, MECHANICAL ROOMS, JANITOR CLOSETS AND WITHIN 4'-0" OF A WATER FOUNTAIN.
3. PARTITIONS BEHIND TOILETS, FIXTURES, AND WITHIN SHOWER AREAS SHALL USE CEMENT BOARD WITH A MOISTURE BARRIER.
4. DO NOT ATTACH GYPSUM BORD TO THE TOP SLIP TRACK.
5. PROVIDE CONTROL JOINTS AT MAX. 30' SPACING.
- D. SEALANT:
1. FIRE RESISTANT RATED PARTITIONS SHALL USE FIRE STOP SEALANT SYSTEMS.
2. NON-RATED PARTITIONS AND SMOKE RESISTANT PARTITIONS SHALL USE ACOUSTICAL SEALANT. FIRE RESISTANT RATED PARTITIONS SHALL NOT USE ACOUSTICAL SEALANT.
- E. INSULATION-HEAD CONDITION AT METAL DECK:
1. FIRE RESISTANT RATED PARTITIONS SHALL USE FIRE SAFING INSULATION.
2. NON-RATED PARTITIONS SHALL USE SOUND ATTENUATION BLANKETS.
- F. FIRE AND/OR SMOKE RESISTANT RATINGS ARE TO SURROUND ALL OPENINGS IN RATED PARTITIONS.
- G. FIRE AND/OR SMOKE RESISTANT PARTITIONS SHALL EXTEND TO INSIDE FACE OF EXTERIOR SHEATHING, INCLUDING EXTENSIONS THROUGH SOFFITS.
- H. EACH PARTITION INDICATED TO BE FIRE AND/OR SMOKE RESISTANT PARTITIONS SHALL BE IDENTIFIED AS SUCH WITH A LABEL ABOVE THE CEILING, ON EACH SEGMENT OF WALL, AT 8'-0" ON CENTER.

FLOOR PLAN KEY NOTES

#	DESCRIPTION
1	KNOX BOX, COORDINATE LOCATION WITH FIRE MARSHALL
2	ROOF ACCESS LADDER WITH LOCK OUT SECURITY GRATE
3	ELECTRICAL METER BANKS
3b	ELECTRICAL PANELS WITH 6" FURRED OUT WALL BEHIND PANELS
4	RESTROOM EXHAUST FAN LOCATION
5	G.C. TO INSTALL WATER METER WITH BACK FLOW
6	
7	AWNING.
8	PROPOSED FROST PROOF HOSE BIB
9	TENANT G.C. TO NOTIFY LANDLORD A MINIMUM OF TWO WEEKS PRIOR TO SLAB POUR FOR COORDINATION. TENANT TO INSTALL CONCRETE SLAB, ALL UNDER-SLAB UTILITIES DISTRIBUTION LINES
10	BLDG. SUBFLOOR, LANDLORD IS TO PROVIDE A SMOOTH, LEVEL SUB-FLOOR STRUCTURE READY TO RECEIVE TENANT'S FLOORING. MAXIMUM DEFLECTION SHALL BE LESS THAN 0-1/16" PER FOOT WITH MAXIMUM ALLOWABLE VARIATION OF 0-1/8" IN 10'-0" (3MM IN 3M) FROM THE LEVEL PLANE AND 0-1/16" IN 24" FROM THE FLOOR HIGH POINT. ALL SUB-FLOORING MUST MEET APPLICABLE DEAD AND LIVE LOAD CODE REQUIREMENTS. ALL TRANSITIONS SHALL COMPLY WITH JURISDICTIONAL ACCESSIBILITY REGULATIONS.
11	RTU ON ROOF- SEE A121
12	CANVAS AWNING
13	RAIN LEADER, COORDINATE WITH MEP DRAWINGS.
14	READY ACCESS 600 SERIES INSULATED WINDOW WITH AA300 AIR CURTAIN AT DRIVE THRU WINDOW
15	EXTERIOR RAIN DOWNSPOUT COLOR TO MATCH SIDING.

NOTES:

1. ALL INTERIOR DIMENSIONS ARE ASSUMED FROM FACE OF FINISH TO FACE OF FINISH.
2. ALL EXTERIOR DIMENSIONS ARE ASSUMED FROM FACE OF FOUNDATION.
3. REFER TO SHEET A601 & A621 FOR DOOR AND WINDOW SCHEDULES.
4. G.C. IS TO CAULK BETWEEN ALL DISSIMILAR MATERIALS.
5. ALL WOOD IN DIRECT CONTACT WITH MASONRY/CONCRETE IS TO BE PRESSURE TREATED.
6. G.C. IS TO PROVIDE SOLID WOOD BLOCKING BEHIND ALL WALL HUNG FIXTURES.
7. G.C. IS TO PROVIDE FIRE BLOCKING AT CEILING LEVEL, TYP.

FLOORPLAN LEGEND

KEYNOTE	
	WINDOW NUMBER TAG (SEE SHEET A601)
	DOOR NUMBER TAG (SEE SHEET A601)
	WALL TYPE
PROPOSED WALLS	DEMISING STUD WALL
	INSULATED WALL ASSEMBLY, TYP.

ARCHITECT

PHASE ZERO DESIGN

35 POND PARK ROAD, BAY 16
HINGHAM, MA 02043
PHONE: (781) 452-7121
FAX: (781) 875-3039
www.p0design.com

CLIENT

CONSULTANT: MEP

CONSULTANT: STRUCTURAL

PROPOSED STARBUCKS

788 MAIN STREET
HOLDEN, MA

REVISIONS

REV	DATE	DESCRIPTION / COMMENTS

ISSUED FOR: REVIEW
ISSUED DATE: 10.06.2023

DRAWN BY: JH
CHECKED BY: MW
PROJECT NUMBER:

DRAWING NAME

FLOOR PLAN

DRAWING NO.

A101



GENERAL NOTES AND KEY NOTES

CONSULTANT: STRUCTURAL



PROPOSED STARBUCKS
788 MAIN STREET
HOLDEN, MA



DRAWING NO. _____

A200