

Study Report

## Town of Holden

### *Town and School Building Assessments*

Various Locations  
Holden, MA

January 31, 2019

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## A. PREFACE

This facilities assessment and report was prepared for the Town of Holden to provide a 10-year Capital Improvement and Maintenance Plan for various Town facilities. The buildings have been listed below in alphabetical order and not by user or department.

- |   |                                |                                  |
|---|--------------------------------|----------------------------------|
| 1. Chaffins Sub-Station Fire Department | 7. Gale Free Library           | 13. Public Safety Building Annex |
| 2. Damon House                          | 8. Hendricks House             | 14. Recreation Building          |
| 3. Davis Hill Elementary School         | 9. Hendricks House Barn        | 15. Senior Center                |
| 4. Dawson Elementary School             | 10. Mayo Elementary School     | 16. Starbard Building            |
| 5. Dawson Pool Complex                  | 11. Municipal Light Department | 17. Town Hall                    |
| 6. Eagle Lake Bath House                | 12. Public Safety Building     | 18. Trout Brook Function Hall    |

Although individual improvement items have been identified for each facility, performing the work by building may not be the best option for all issues. Consequently, a list of anticipated projects is included in Section E Anticipated Projects, which includes some projects that can be performed at multiple facilities under a single contract.

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## **B. ACKNOWLEDGMENTS**

We would like to acknowledge the Town of Holden for their participation in this Building Assessment. The Department Heads and Facilities Personnel were key to not only providing access to the building, but providing information on the existing conditions and equipment performance. Additionally, we would like to acknowledge John R. Woodsmall III, Christopher Demoranville, Isabel McCauley, Patrick Wood, and Ryan Mouradian.

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## C. EXECUTIVE SUMMARY

### C.1 STUDY PURPOSE

Gienapp Design Associates and our engineering consultants, Northeast Engineering and Commissioning Services and Nangle Engineering, Inc., visited 18 town facilities between August 2018 and September 2018 to develop a 10-year Capital Improvement and Maintenance Plan for the Town of Holden. The plan includes items observed during the site visit assessments as well as items reported by the buildings' caretakers and occupants.

The buildings have been listed alphabetically as opposed to by user or department., and include the following:

- |   |                                |                                  |
|---|--------------------------------|----------------------------------|
| 1. Chaffins Sub-Station Fire Department | 7. Gale Free Library           | 13. Public Safety Building Annex |
| 2. Damon House                          | 8. Hendricks House             | 14. Recreation Building          |
| 3. Davis Hill Elementary School         | 9. Hendricks House Barn        | 15. Senior Center                |
| 4. Dawson Elementary School             | 10. Mayo Elementary School     | 16. Starbard Building            |
| 5. Dawson Pool Complex                  | 11. Municipal Light Department | 17. Town Hall                    |
| 6. Eagle Lake Bath House                | 12. Public Safety Building     | 18. Trout Brook Function Hall    |

### C.2 OVERVIEW OF FINDINGS

In general, the buildings are in good shape. Most of the buildings' issues are related to maintenance items, with minor other issues. However, some of the buildings have the potential for major improvements which the Town should review. Specifically, this includes work at:

- |   |                        |              |
|---|------------------------|--------------|
| 1. Chaffins Sub-Station Fire Department | 3. Recreation Building | 5. Town Hall |
| 2. Damon House and Hendricks House      | 4. Starbard Building   |              |

Additional information regarding these major improvements are included in the Building Summary section by building.

#### *C.2.1 Work Categorization*

Work Categorization indicates the category of work of the item and are as follows:

1	Maintenance	Items that could be addressed with Town forces or through maintenance contracts. It should be noted that not all maintenance items were logged. Only items that were readily apparent or reported by the building occupants during the on-site assessments were included in this report.  Also, if a maintenance item was deemed large enough in quantity or complexity, it was assigned the “Capital Repair or Modernization” categorization.
2	Capital Repair or Modernization	Items that will require a capital repair or modernization project.
3	Elective Improvement	Items that are not required, but would benefit the Town. For example, when visiting the schools, it was noted that there is no emergency panic button directly connected to the Police and Fire Department. Since this was noted by the building users, it was included in the charts as an “Elective Improvement”.
4	Noted for Information	Items that are noted for information.
5	Other	Items that do not fit into the categories above. For example, the rear stairs’ handrails in Town Hall are not accessible. However, due to the historic configuration, it is unlikely fully compliant handrails could be installed and therefore, the Town should seek a variance from the accessibility board.

### *C.2.2 System Category*

Each item identifies a “System Category”, which refers to the construction category of which the item is an element. There are six categories:

1	Code	Building Code (9 <sup>th</sup> Edition of the Massachusetts State Building Code) or Accessibility Code (521 CMR Architectural Access Board) items. Examples include: insufficient handrail heights, insufficient door clearances, and missing door levers.
2	Elevator	The elevators were not evaluated as part of this assessment other than obvious issues, such as the floor of the elevator not lining up with the floor elevation.
3	Envelope	Items that are part of the building envelope. Examples include: exterior masonry, windows, and roofs.
4	Interior	Items that are part of the interior of the building. Examples include: flooring, ceilings, and paint.
5	MEP/FP	Items that are part of the building’s system (mechanical, electrical, plumbing, and fire protection). Examples include: plumbing fixtures, boilers, and lighting.
6	Site	Items that are part of the building’s property. Examples include: sidewalks, parking lots, and curbs
7	Structural	Structural items of concern. Examples include deteriorating framing.

Two categories not included which may have a substantial cost impact are security and technology. It is clear many of the buildings will need work in each of these categories. However, the full impact of these needed upgrades is difficult to monetize. Consequently, further evaluation and design must be done prior to being able to estimate a construction cost.

### *C.2.3 Work Type*

Each item identifies a “Work Type”, which indicates what type of work is required for each line item. The work types are as follows:

Code Related Work Types:	9. Lighting	19. Masonry
1. Accessibility	10. Plumbing	20. Renovation (Multiple Types)
2. Code (i.e. Building or other, not Accessibility)	Miscellaneous Work Types:	21. Roofing
MEP/FP Work Types	11. Doors	22. Sealant (Exterior)
3. Building Systems (i.e. work involves multiple systems)	12. Elevator	23. Site
4. Electrical	13. Finishes (Exterior) (i.e. wood trim)	24. Structural
5. Emergency Lighting	14. Finishes (Interior) (i.e. flooring)	25. Windows
6. Fire Alarm	15. Flashing	Information for Note:
7. Fire Protection	16. Gutters and Downspouts	26. FYI
8. HVAC	17. Insulation	
	18. Maintenance	

These categories are included in the Summary Matrix section starting on page 11.

### *C.2.4 Project and Project Types*

Gienapp Design item identified potential “Projects” during which the work could be performed. The projects listed here are recommendations only; the work may be performed in a number of different ways and combinations. Each project indicates a “Project Type”. The “Project Type” suggests the type of contractor (i.e. DCAMM Certification category) that would be needed on the recommended project.

Please note: The Work Type list and the Project Type list appear to be very similar; however, the Project Type is a recommended type based on the recommended Projects whereas the Work Type is simply the type of work required by each item. Many of the identified Projects have been given the Project Type “Renovation (Multiple Types)” and include several different Work Types.

The Project Type and Certification categories are intended to be as follows:

A. Accessibility.....General Building Construction	C. Renovation (Multiple Types).....General Building Construction
B. Code.....General Building Construction	D. Masonry.....Masonry

E. Roofing.....	Roofing	L. HVAC .....	HVAC
F. Windows .....	Doors & Windows	M. Electrical.....	Electrical
G. Finishes (Interior) .....	General Building Construction	N. Fire Alarm .....	Electrical
H. Elevator .....	Elevators	O. Lighting .....	Electrical
I. Building Systems .....	General Building Construction	P. Site.....	General Building Construction
J. Fire Protection .....	Fire Protection Sprinkler Systems	Q. Maintenance .....	General Building Construction
K. Plumbing .....	Plumbing		

Projects have been assigned a recommended time period (See Article 'Time Periods'), which may be different than the individual issue's recommended time period. This is to take advantage of the presence of a contractor on site or economy of scale. The cost for Projects have been escalated to their own appropriate time period; therefore, the total value of the work may be different than when issues are described and identified individually. Additionally, where work has been combined into Projects, consideration is given toward when Code required work will be triggered. For example, for Town Hall, several accessibility items have been listed and are escalated to Year 6 for consistency. However, a large Project is recommended to address a number of items in the building for Years 1 to 3, which will trigger accessibility upgrades. Consequently, accessibility items are included in the Project's Years 1 to 3 escalation cost.

### *C.2.5 Group Designation*

Group Designations denote urgency, preference, or Code requirement and are as follows:

A	Current Critical	Conditions require immediate action to: correct a cited safety hazard; stop accelerated deterioration; return a facility to operation; correct an environmental hazard.
B	Potentially Critical	Conditions, if not corrected expeditiously, will become critical within a short period, including: intermittent operations; rapid deterioration; potential life safety hazards; environmental non-compliance.
C	Necessary – Not Yet Critical	Conditions require appropriate attention to preclude predictable deterioration or potential downtime and the associated damage or higher costs if deferred further.
D	Recommended	Conditions in this category include items that represent a sensible improvement to existing conditions. These are not required for the most basic function of the facility, but will improve overall usability and/or reduce long-term maintenance cost.
E	Does Not Meet Current Codes/Standards	"Grandfathered" conditions in this category include items that do not conform to existing codes, but are grandfathered in their condition. No action is required at this time, but should substantial work be undertaken in contiguous areas, certain existing conditions may require correction.



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M	Maintenance	Conditions that should be addressed through regular building maintenance. Note: not all maintenance items are included in this report. Only maintenance items that were visibly apparent and related to other work have been included.
Z	Noted for Information – No Work	Condition noted in the file for information only. No work is required.

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### C.3 TIME PERIODS

Based on our observations and analysis, each identified issue was assigned one of the following time periods:

1. “Urgent Items” (1 to 3 years),
2. “Short Term Items” (4 to 7 years), or
3. “Long Term Items” (8 to 10 years).

Additionally, some items have been identified in the report as “Cost if Triggered” or “Maintenance”. The former indicates work that may be required depending on various Code thresholds. For example, per 521 CMR Architectural Access Board (MAAB), if more than 30% of the building’s value is spent in construction cost within a 36-month period, the entire building must be brought up to Code. Where it is known that these Code-required improvements will be triggered by the work indicated here, the Code-required work has been included in the likely time period the work will be triggered.

The latter indicates that the item is a maintenance item that could be addressed by Town personnel or through maintenance contracts. For some of these items, a cost has been included to indicate potential cost if an outside contractor is engaged to do the work. Obviously, using Town personnel or a maintenance contract will result in a different cost.

### C.4 ADDITIONAL ITEMS OF NOTE

#### C.4.1 Accessibility

One of the Code thresholds in the “Accessibility Code” (521 CMR Architectural Access Board (MAAB)) requires when the total construction cost on a building over a 36-month period exceeds 30% of the building’s value, the entire building must be made accessible. However, it should be noted that at the time of this assessment, the applicable edition of the Accessibility Code is from July 27, 2006 which states “521 CMR is designed to make *public buildings* and facilities *accessible* to, functional for, and safe for use by *persons with disabilities*” (MAAB Section 2.1) with “Public Buildings” referring to buildings and construction open to and used by the public regardless of ownership. Consequently, areas that are not open to or used by the public are not governed by this Code. (This differs from the 2010 Americans with Disabilities Act (ADA) Standards for Accessible Design, which does not make this distinction.)

Several buildings have been identified in this report as having accessibility issues; however, since they are mostly employee-only areas, a cost estimate of \$0 was associated with the building. At the beginning of any project these Codes should be reviewed as they may change, and consequently, may have an unexpected cost impact on the work.

#### *C.4.2 Fire Protection*

The requirements for fire protection are complex and rely on the several factors including, but not limited to, size of the building, size of the work area, cost of the project, and cost of providing sprinklers. Many of the buildings that were reviewed do not have sprinklers and depending on the projects performed, may be required to have them. At the beginning of any design project at the buildings without sprinklers, a Code analysis should be performed to determine if sprinklers are required.

#### *C.4.3 Carbon Monoxide Detection*

There are several Code citations regarding when and where carbon monoxide sensors are required. For example, the Massachusetts State Fuel Gas Code (248 CMR) section 9.1.23 is an amendment to The National Fuel Gas Code (NFPA 54 2012) and requires carbon monoxide sensors for the installation or replacement of vented gas appliances. The Massachusetts State Fire Prevention Code (527 CMR) is an amendment to the NFPA-1 Fire Code 2015, section 13.7.2.15.6. The Massachusetts State Fire Prevention Code 527 amendments requires carbon monoxide sensors in enclosed parking areas and all residential type occupancies (Day Care, 1- and 2-family buildings, etc.) and institutional occupancies (hospitals, group homes, nursing homes, prisons, etc.). This code covers all fossil fuel fire appliances, not only gas.

The three schools visited (Dawson, Davis Hill, Mayo) and the Trout Brook Function Hall have oil fired heating equipment. Consequently, we recommend the following, which is also reflected elsewhere in this report:

1. Trout Brook be provided with carbon monoxide sensors in the Function Hall area.
2. In each of the school's boiler rooms, carbon monoxide sensors should be provided and located with audible and visual alarms.

The sensors should be wired to shut down the fuel burning equipment upon detection of carbon monoxide. A sign in accordance with CMR 527 section 13.7.7 in one-inch high letters stating, "*If the carbon monoxide device is activated, do not restart the equipment until serviced by a qualified technician.*" should be installed where carbon monoxide sensors are located.

## **C.5 COST SUMMARY**

#### *C.5.1 Cost Calculations*

Gienapp Design and our consultants determined the cost required to deal with each item, which are shown in later sections of this report. In order to provide the most useful information to the Town, several amounts were calculated:

- A. The "Direct Cost" is the value associated with the material and labor. It's calculated as follows:

$$\text{Direct Cost} = \text{Unit Cost} * \text{Unit Quantity}$$

- B. The "Estimated Construction Cost" (ECC) is the total cost of a construction contract and includes the direct cost, general conditions, and contractor overhead and profit. This is reflective of what to expect through a construction bid. It is calculated as follows:

$$\text{Estimated Construction Cost (ECC)} = \text{Direct Cost} + 20\%$$

- C. The “Total Project Cost” (TPC) is the total cost of the construction contract and any soft costs such as design fees. Typically, soft costs are approximately 35% and includes items such as furniture, legal fees, and moving costs. However, many of the work items here do not require all these soft costs, so a flat rate of 25% was used. It should be noted: the amount of the soft costs will ultimately vary depending on the project with larger, more complicated projects needing more while smaller, simpler projects may not need much.

$$\text{Total Project Cost (TPC)} = \text{Estimated Construction Cost (ECC)} + 25\%$$

- D. Escalation was added based on the time periods determined for each item. A rate to the mid-point of the time period was used (year 2 for the 1 to 3-year period (15%); year 6 for the 4 to 7-year period (30%); and year 9 for the 8 to 10-year period (40%)). Items identified as “Cost if Triggered” were escalated to year 6. Maintenance items are not escalated.

For most of the tables and charts in the report, the Total Project Cost (TPC) is listed unless specifically noted otherwise.

*C.6.1 Cost Estimate by Building*

The cost for all the work identified in this report is located below and is organized by building with cost totals.

Capital Improvement and Maintenance Plan						
COST PER BUILDING						
Building Name	Total Project Cost				Cost if Triggered by Code (Escalated to Year 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Chaffins Sub-Station Fire Department	\$987,800	\$478,070	\$94,850	\$1,560,720	\$10,470,960	\$12,031,680
Damon House	\$62,400	\$435,210	\$37,180	\$534,790	\$304,300	\$839,090
Davis Hill Elementary School	\$1,264,070	\$1,516,710	\$1,422,230	\$4,203,010		\$4,203,010
Dawson Elementary School	\$377,670	\$5,404,120	\$1,079,900	\$6,861,690	\$15,600	\$6,877,290
Dawson Pool Complex	\$137,050	\$192,090	\$84,000	\$413,140		\$413,140
Eagle Lake Bath House	\$19,240	\$149,400	\$10,080	\$178,720	\$6,830	\$185,550
Gale Free Library	\$295,700	\$992,250	\$806,820	\$2,094,770	\$665,750	\$2,760,520
Hendricks House	\$82,490	\$67,790	\$32,720	\$183,000	\$14,490	\$197,490
Hendricks House Barn	\$27,010		\$17,030	\$44,040		\$44,040
Mayo Elementary School	\$1,426,830	\$1,100,750	\$23,690	\$2,551,270		\$2,551,270
Municipal Light Department	\$26,250	\$24,750	\$422,240	\$473,240		\$473,240
Public Safety Building	\$17,300		\$15,100	\$32,400		\$32,400
Public Safety Building Annex	\$64,750	\$136,500	\$21,000	\$222,250		\$222,250
Recreation Building	\$51,940	\$95,300	\$275,250	\$422,490	\$134,940	\$557,430
Senior Center	\$68,960	\$403,980		\$472,940	\$36,280	\$509,220
Starbard Building	\$426,350	\$271,250	\$97,390	\$794,990	\$260,030	\$1,055,020
Town Hall	\$109,410	\$679,080	\$243,270	\$1,031,760	\$489,560	\$1,521,320
Trout Brook Function Hall	\$148,560	\$74,300	\$30,240	\$253,100	\$112,010	\$365,110
<b>TOTAL:</b>	<b>\$5,593,780</b>	<b>\$12,021,550</b>	<b>\$4,712,990</b>	<b>\$22,328,320</b>	<b>\$12,510,750</b>	<b>\$34,839,070</b>

*C.6.2 Cost Estimate by Building by Work Categorization*

Capital Improvement and Maintenance Plan						
COST PER CATEGORIZATION						
Building Name	Total Project Cost				Cost if Triggered by Code <i>(Escalated to Year 6)</i>	Total <i>(Subtotal and Code Triggered Cost)</i>
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
MAINTENANCE						
Chaffins Sub-Station Fire Department	\$10,350		\$7,490	\$17,840		\$17,840
Damon House	\$16,410	\$65,290		\$81,700	\$8,490	\$90,190
Davis Hill Elementary School	\$92,740	\$13,370	\$31,500	\$137,610		\$137,610
Dawson Elementary School	\$30,160	\$10,520	\$3,780	\$44,460		\$44,460
Dawson Pool Complex	\$1,900			\$1,900		\$1,900
Eagle Lake Bath House	\$750			\$750		\$750
Gale Free Library	\$9,750	\$6,750		\$16,500		\$16,500
Hendricks House	\$10,410	\$3,900		\$14,310		\$14,310
Hendricks House Barn	\$5,450			\$5,450		\$5,450
Mayo Elementary School	\$33,970	\$10,490		\$44,460		\$44,460
Municipal Light Department	\$19,500			\$19,500		\$19,500
Public Safety Building	\$13,500		\$3,760	\$17,260		\$17,260
Public Safety Building Annex	\$5,920			\$5,920		\$5,920
Recreation Building	\$5,620	\$5,230		\$10,850		\$10,850
Senior Center	\$25,300	\$38,520		\$63,820		\$63,820
Starbard Building	\$10,230		\$6,750	\$16,980	\$2,930	\$19,910
Town Hall	\$7,490	\$11,260	\$36,810	\$55,560		\$55,560
Trout Brook Function Hall	\$11,640	\$8,780		\$20,420	\$1,350	\$21,770
Total Maintenance	\$311,090	\$174,110	\$90,090	\$575,290	\$12,770	\$588,060
CAPITAL REPAIR OR MODERNIZATION						
Chaffins Sub-Station Fire Department	\$977,450	\$478,070	\$87,360	\$1,542,880	\$1,227,370	\$2,770,250

Capital Improvement and Maintenance Plan						
COST PER CATEGORIZATION						
Building Name	Total Project Cost				Cost if Triggered by Code (Escalated to Year 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Damon House	\$45,990	\$369,920	\$37,180	\$453,090	\$295,810	\$748,900
Davis Hill Elementary School	\$1,169,820	\$1,503,340	\$1,390,730	\$4,063,890		\$4,063,890
Dawson Elementary School	\$346,010	\$5,393,600	\$1,076,120	\$6,815,730	\$15,600	\$6,831,330
Dawson Pool Complex	\$135,150	\$192,090	\$84,000	\$411,240		\$411,240
Eagle Lake Bath House	\$18,490	\$149,400	\$10,080	\$177,970	\$6,830	\$184,800
Gale Free Library	\$285,950	\$985,500	\$806,820	\$2,078,270	\$665,750	\$2,744,020
Hendricks House	\$67,770	\$63,890	\$32,720	\$164,380	\$14,490	\$178,870
Hendricks House Barn	\$21,560		\$17,030	\$38,590		\$38,590
Mayo Elementary School	\$942,860	\$1,090,260	\$23,690	\$2,056,810		\$2,056,810
Municipal Light Department	\$6,750	\$2,250	\$422,240	\$431,240		\$431,240
Public Safety Building	\$3,800		\$11,340	\$15,140		\$15,140
Public Safety Building Annex	\$58,830	\$136,500	\$21,000	\$216,330		\$216,330
Recreation Building	\$23,820	\$90,070	\$33,450	\$147,340	\$134,940	\$282,280
Senior Center	\$43,660	\$365,460		\$409,120	\$36,280	\$445,400
Starbard Building	\$416,120	\$271,250	\$90,640	\$778,010	\$257,100	\$1,035,110
Town Hall	\$101,920	\$667,820	\$206,460	\$976,200	\$479,810	\$1,456,010
Trout Brook Function Hall	\$136,920	\$65,520	\$30,240	\$232,680	\$110,660	\$343,340
<b>Total Capital Repair or Modernization</b>	<b>\$4,802,870</b>	<b>\$11,824,940</b>	<b>\$4,381,100</b>	<b>\$21,008,910</b>	<b>\$3,244,640</b>	<b>\$24,253,550</b>
<b>ELECTIVE IMPROVEMENT</b>						
Chaffins Sub-Station Fire Department					\$9,243,590	\$9,243,590
Davis Hill Elementary School	\$1,510			\$1,510		\$1,510
Dawson Elementary School	\$1,500			\$1,500		\$1,500

Capital Improvement and Maintenance Plan						
COST PER CATEGORIZATION						
Building Name	Total Project Cost				Cost if Triggered by Code (Escalated to Year 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Mayo Elementary School	\$450,000			\$450,000		\$450,000
Municipal Light Department		\$22,500		\$22,500		\$22,500
Recreation Building	\$22,500		\$241,800	\$264,300		\$264,300
Town Hall						
<b>Total Elective Improvement</b>	<b>\$475,510</b>	<b>\$22,500</b>	<b>\$241,800</b>	<b>\$739,810</b>	<b>\$9,243,590</b>	<b>\$9,983,400</b>
<b>NOTED FOR INFORMATION</b>						
Chaffins Sub-Station Fire Department						
Davis Hill Elementary School						
Dawson Elementary School						
Dawson Pool Complex						
Eagle Lake Bath House						
Gale Free Library						
Mayo Elementary School						
Municipal Light Department						
Public Safety Building						
Public Safety Building Annex						
Recreation Building						
Senior Center						
Starbard Building						
Town Hall						
Trout Brook Function Hall						
<b>Total Noted for Information</b>						



Capital Improvement and Maintenance Plan						
COST PER CATEGORIZATION						
Building Name	Total Project Cost				Cost if Triggered by Code (Escalated to Year 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>OTHER</b>						
Dawson Elementary School						
Hendricks House	\$4,310			\$4,310		\$4,310
Public Safety Building Annex						
Recreation Building						
Starbard Building						
Town Hall					\$9,750	\$9,750
<b>Total Other</b>	<b>\$4,310</b>			<b>\$4,310</b>	<b>\$9,750</b>	<b>\$14,060</b>
<b>TOTAL:</b>	<b>\$5,593,780</b>	<b>\$12,021,550</b>	<b>\$4,712,990</b>	<b>\$22,328,320</b>	<b>\$12,510,750</b>	<b>\$34,839,070</b>



**C.7 SUMMARY MATRIX**

Below is a matrix showing the Work Types required at each building. A complete list of each of the items, cost, and recommended time period is included in Appendix O.

Building Name	Area (SF)	Accessibility	Building Systems	Code	Doors	Electrical	Elevator	Emergency Lighting	Finishes (Exterior)	Finishes (Interior)	Fire Alarm	Fire Protection	Flashing	FYI	Gutters & Downspouts	HVAC	Insulation	Lighting	Maintenance	Masonry	Plumbing	Renovation (Multiple Types)	Roofing	Sealant (Exterior)	Site	Structural	Windows
Chaffins Sub-Station Fire Department	13,740	✗		✗		✗		✗	✗	✗	✗	✗		✗		✗	✗	✗		✗	✗	✗				✗	
Damon House	2,810	✗		✗		✗		✗	✗	✗	✗					✗	✗	✗		✗	✗		✗		✗		✗
Davis Hill Elementary School	77,271	✗		✗	✗	✗			✗	✗	✗	✗		✗	✗	✗		✗			✗		✗	✗	✗		
Dawson Elementary School	59,178	✗		✗	✗	✗			✗	✗	✗					✗	✗	✗		✗	✗		✗	✗	✗		
Dawson Pool Complex				✗		✗			✗	✗	✗					✗					✗						
Eagle Lake Bath House	600	✗						✗		✗	✗					✗		✗			✗						
Gale Free Library	14,396	✗		✗		✗		✗	✗	✗	✗	✗		✗		✗		✗		✗	✗	✗	✗				✗
Hendricks House	1,644			✗		✗		✗		✗	✗	✗				✗		✗			✗						
Hendricks House Barn	676					✗			✗	✗								✗							✗		✗

Building Name	Area (SF)	Accessibility	Building Systems	Code	Doors	Electrical	Elevator	Emergency Lighting	Finishes (Exterior)	Finishes (Interior)	Fire Alarm	Fire Protection	Flashing	FYI	Gutters & Downspouts	HVAC	Insulation	Lighting	Maintenance	Masonry	Plumbing	Renovation (Multiple Types)	Roofing	Sealant (Exterior)	Site	Structural	Windows
Mayo Elementary School	83,889			X	X	X	X		X	X	X			X	X	X		X		X	X	X	X	X	X		X
Municipal Light Department	14,719					X				X				X		X		X		X	X	X		X			
Public Safety Building	24,898					X				X	X			X		X		X			X	X					
Public Safety Building Annex						X		X		X						X		X			X		X				
Recreation Building	3,769	X				X			X	X	X	X		X	X	X		X			X	X					
Senior Center	9,269			X		X		X	X		X	X		X		X		X			X	X	X		X		
Starbard Building	5,627	X		X		X	X	X		X	X					X		X		X	X				X	X	X
Town Hall	7,020	X		X	X	X	X	X	X	X	X			X		X	X	X		X	X	X	X		X	X	X
Trout Brook Function Hall	1,599	X						X	X	X	X			X		X		X			X		X				X

**C.8 BUILDING CONDITION**

■ = Required, □ = Optional or Significant Maintenance Item, ★ = Item of Note					
Building Name	Maintenance	Capital Repair	Capital Modernization	Urgent: Requires Attention	Comments
Chaffins Sub-Station Fire Department	■		■	★	A portion of the roof has severe water damage and may give way.
Damon House	■	□	□		
Davis Hill Elementary School	■	□			
Dawson Elementary School	■	□			
Dawson Pool Complex	■				
Eagle Lake Bath House	■				
Gale Free Library	■	■			
Hendricks House	■	□	□		
Hendricks House Barn	■	□	□		
Mayo Elementary School	■	□			
Municipal Light Department	■				
Public Safety Building	■				
Public Safety Building Annex	■				
Recreation Building	■		□		
Senior Center	■	■			A current roof leak is causing damage to the interior.
Starbard Building	■	■	□	★	The roof structure is severely compromised and should be addressed.

■ = Required, □ = Optional or Significant Maintenance Item, ★ = Item of Note					
Building Name	Maintenance	Capital Repair	Capital Modernization	Urgent: Requires Attention	Comments
Town Hall	■	■	□	★	The boilers in the basement are partly submerged during high water. Replacement with an alternative heating source would require major renovation to the building.
Trout Brook Function Hall	■	■			

## D. BUILDING SUMMARIES

A summary of each of the buildings, their issues, and recommended projects are included in this Section. A complete list of all issues by building is included in the Appendix with a unique identification number. Also included in the appendix is a copy of the structural engineering report on the Starbard Building: “Preliminary Structural Observation Report” by Ipswich River Engineering, Inc.

Please note the projects (a.k.a. “Anticipated Projects”) identified in this report are a list of recommended projects, some of which may involve work at other buildings. These projects are recommendations only; the work at the buildings may happen within projects or combinations of work. A list of all recommended projects regardless of building is included in the Anticipated Projects Section.

This Section is organized alphabetically as follows:

- |   |                                |                                  |
|---|--------------------------------|----------------------------------|
| 1. Chaffins Sub-Station Fire Department | 7. Gale Free Library           | 13. Public Safety Building Annex |
| 2. Damon House                          | 8. Hendricks House             | 14. Recreation Building          |
| 3. Davis Hill Elementary School         | 9. Hendricks House Barn        | 15. Senior Center                |
| 4. Dawson Elementary School             | 10. Mayo Elementary School     | 16. Starbard Building            |
| 5. Dawson Pool Complex                  | 11. Municipal Light Department | 17. Town Hall                    |
| 6. Eagle Lake Bath House                | 12. Public Safety Building     | 18. Trout Brook Function Hall    |

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## D.1 CHAFFINS SUB-STATION (FIRE DEPARTMENT)

Address:	87 Adams Road Holden, MA
Size:	13,740 SF
Built:	1960
Assessed Value:	\$529,400 (9/5/18)
Floors:	1
Date Visited:	August 28, 2018

The Chaffins Sub-Station (Fire Department) is located at 87 Adams Road and shares the building with the Holden Department of Public Works (DPW). The building is constructed on two levels due to the grade change on site, with the Sub-Station nearly a full level below the DPW portion of the building. As can be seen in the aerial photo on this page, the Sub-Station occupies a very small portion of the building. This CMU and steel frame building was originally constructed in 1960, and despite the grade change, is only a single level. The Sub-Station can be entered on the south east side either through a man door or two garage doors. There are no other entrances and internally, the fire department and DPW are internally connected by a side stair.

The exterior of the building is brick, painted CMU, and metal panel. The roof is a membrane system. The interior is painted CMU, ceramic tile, and suspended acoustical tile ceiling. The spatial layout is simple with few rooms. It appears that one room serves most of the building's

functions as the break room, dayroom, and locker room (although there are only hooks for lockers). Additionally, there is only one multi-user bathroom that serves the whole Sub-Station.

### Assessment General Comments

Overall, the building is in poor to fair condition. Of greatest concern is the roof, where the rear left portion is starting to cave in. This should be addressed urgently. Most of the other items identified can be traced to the age of the building and finishes.

The building is heated by a Burnham gas-fired, hot water boiler installed in 2010. Hot water in the Fire Station portion of the building is heated with hot water baseboard radiation. The truck bays are heated with hot water unit heaters, air handlers, and fin tube radiation.

The toilet room fan is not running. This fan should be replaced. There is no HVAC work to be done in the building with the exception of said exhaust fan.

There is no fire protection system installed in this building.

There are two important items to note:

- A. During the assessment, the Town reported that a separate project currently underway includes vacating and potentially demolishing the DPW portion of the building. This could have a major impact on any work done on the building especially in regards to Code triggered requirements. For example, the building is not currently sprinklered and nearly any renovation will trigger the Code requirement for sprinklers. However, the Code allows for certain exceptions based on size. If the DPW portion of the building is demolished, the remaining building may be small enough that it would not require sprinklers.
- B. At the time of Gienapp Design's walkthrough, the Town reported the building is partially occupied by a volunteer crew. However, the Town plans to change this to a fully occupied sub-station with a permanent crew. It should be noted that the building does not have many of the features or meet the requirements of a fully used fire sub-station. It is questionable if the current sub-station can be renovated such to meet these requirements due



Photo 1: Chaffins Sub-Station (Lower, Front Portion Only)

to its limitations in size, shape, and configuration, so it may be to the Town's benefit to review opportunities to construct a new station. If the DPW portion is demolished, the land could provide one of these opportunities.

The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan						
CATEGORIZATION BY BUILDING						
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>Chaffins Sub-Station Fire Department</b>						
Maintenance	\$10,350		\$7,490	\$17,840		\$17,840
Capital Repair or Modernization	\$977,450	\$478,070	\$87,360	\$1,542,880	\$1,227,370	\$2,770,250
Elective Improvement					\$9,243,590	\$9,243,590
Noted for Information						
<b>Total Chaffins Sub-Station Fire Department</b>	<b>\$987,800</b>	<b>\$478,070</b>	<b>\$94,850</b>	<b>\$1,560,720</b>	<b>\$10,470,960</b>	<b>\$12,031,680</b>



The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
CHAFFINS SUB-STATION FIRE DEPARTMENT						
Code						
Accessibility (Depends on Other Work)						
Renovation (Multiple Types)					\$9,243,590	\$9,243,590
Code Subtotal:					\$9,243,590	\$9,243,590
Envelope						
Finishes (Exterior)		\$10,350		\$10,350		\$10,350
Insulation			\$87,360	\$87,360		\$87,360
Masonry		\$3,760		\$3,760		\$3,760
Structural		\$603,750		\$603,750		\$603,750
Envelope Subtotal:		\$617,860	\$87,360	\$705,220		\$705,220
Interior						
Finishes (Interior)			\$32,980	\$32,980		\$32,980
FYI						
Interior Subtotal:			\$32,980	\$32,980		\$32,980
MEP/FP						
Code (Depends on Other Work)					\$336,380	\$336,380
Electrical		\$194,930	\$7,310	\$202,240	\$336,380	\$538,620
Emergency Lighting					\$92,430	\$92,430

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Fire Alarm	\$160,000			\$160,000		\$160,000
Fire Protection					\$462,180	\$462,180
HVAC	\$15,010			\$15,010		\$15,010
Lighting		\$437,780		\$437,780		\$437,780
Plumbing			\$7,490	\$7,490		\$7,490
<b>MEP/FP Subtotal:</b>	<b>\$369,940</b>	<b>\$445,090</b>	<b>\$7,490</b>	<b>\$822,520</b>	<b>\$1,227,370</b>	<b>\$2,049,890</b>
<b>Chaffins Sub-Station Fire Department Subtotal:</b>	<b>\$987,800</b>	<b>\$478,070</b>	<b>\$94,850</b>	<b>\$1,560,720</b>	<b>\$10,470,960</b>	<b>\$12,031,680</b>

The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
<b>Chaffins Sub-Station Fire Department</b>				<b>AAB Threshold Value: \$158,820</b>		
P21 Elective Improvement (Not Part of Project) <i>Buildings affected by project: Mayo Elementary School, Recreation Building, Municipal Light Department, Chaffins Sub-Station Fire Department, Dawson Elementary School, Davis Hill Elementary School, Town Hall,</i>				\$9,243,585	\$9,243,585	<b>\$10,031,000</b>
P28 Interior and Exterior Renovation (Chaffins) <i>Buildings affected by project: Chaffins Sub-Station Fire Department,</i>	\$2,574,342				\$2,574,342	<b>\$2,574,000</b>
P14 Noted for Information (Not Part of Project) <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Public Safety Building Annex, Eagle Lake Bath House, Dawson Pool Complex , Trout Brook Function Hall, Chaffins Sub-Station Fire Department, Town Hall, Starbard Building, Senior Center, Gale Free Library, Public Safety Building, Recreation Building, Municipal Light Department, Dawson Elementary School,</i>						<b>\$20,000</b>
<b>Chaffins Sub-Station Fire Department Subtotal:</b>	<b>\$2,574,342</b>			<b>\$9,243,585</b>	<b>\$11,817,927</b>	

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## D.2 DAMON HOUSE

Address:	1174 Main Street Holden, MA
Size:	2,810 SF
Built:	1850
Assessed Value:	\$315,100 (9/5/18)
Floors:	4 (3 + Basement)
Date Visited:	August 22, 2018

The historic Damon House, built in 1850, is a former residence now owned by the Town of Holden. The building is three floors, with a basement. Damon House is a wood framed building with painted wood siding and trim. The roof is asphalt shingle. The foundation of the building is stone. No significant changes appear to have been made to the building's skeleton.

Select areas of the building have been modernized over the years (bathrooms, etc.). The interior has carpet and ceramic tile floors. Walls are wallpapered, or painted gyp board in newer areas of the building. The ceiling is largely suspended acoustical tile, with the original painted gyp board in places.

Damon House has no elevators and is not accessible at the first-floor level, which has three separate entrances (two to common areas, one directly into one of the office spaces).

As of September 5, 2018, this building is assessed at \$315,100. 30% of the building's value is \$94,530.

### Assessment General Comments

Overall, the building varies from fair to good condition. Some areas show signs of more recent renovations than others. Older areas need some modernization including, but not limited to, the toilet rooms.

In regards to accessibility, the building is not accessible. This is not only within the building (i.e. no elevator, non-accessible toilet rooms), but the first floor is elevated with only stairs providing access. It is our understanding that the building is leased to a business and may be used by employees only. If this employee-only use changes, the building will need to be made fully accessible where ever public is expected to go.

The Damon House is air conditioned using window air conditioning units. Heating for the building is done with a gas-fired condensing hot water boiler, hot water piping distribution, and hot water baseboard radiation. The boiler was installed in 2014 when the building was converted from oil to gas heating. The new hot water piping in the basement is not insulated and should be insulated.

The boiler manufacturer's installation instructions call for a combustion air fitting when combustion air is taken from the Basement. The combustion air fitting is not installed.

The oil tank in the basement is abandoned. The oil tank should be removed in accordance with The Massachusetts State Fire Code 527 CMR section 9.07.

There is no fire protection system installed in this building.

The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan						
CATEGORIZATION BY BUILDING						
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>Damon House</b>						
Maintenance	\$16,410	\$65,290		\$81,700	\$8,490	\$90,190
Capital Repair or Modernization	\$45,990	\$369,920	\$37,180	\$453,090	\$295,810	\$748,900
<b>Total Damon House</b>	<b>\$62,400</b>	<b>\$435,210</b>	<b>\$37,180</b>	<b>\$534,790</b>	<b>\$304,300</b>	<b>\$839,090</b>

The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
DAMON HOUSE						
Code						
Accessibility (Depends on Other Work)					\$252,130	\$252,130
Code Subtotal:					\$252,130	\$252,130
Envelope						
Finishes (Exterior)		\$4,830	\$10,000	\$14,830		\$14,830
Insulation		\$19,330		\$19,330		\$19,330
Masonry			\$6,730	\$6,730		\$6,730
Roofing			\$40,950	\$40,950		\$40,950
Windows			\$186,030	\$186,030		\$186,030
Envelope Subtotal:		\$24,160	\$243,710	\$267,870		\$267,870
Interior						
Finishes (Interior)			\$62,400	\$15,130	\$77,530	\$77,530
Interior Subtotal:			\$62,400	\$15,130	\$77,530	\$77,530
MEP/FP						
Code (Depends on Other Work)					\$8,490	\$8,490
Electrical		\$6,220		\$6,220		\$6,220
Emergency Lighting		\$21,830		\$21,830		\$21,830
Fire Alarm					\$43,680	\$43,680

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
HVAC	\$440		\$15,750	\$16,190		\$16,190
Lighting		\$82,290		\$82,290		\$82,290
Plumbing	\$9,750	\$2,930	\$6,300	\$18,980		\$18,980
<b>MEP/FP Subtotal:</b>	<b>\$38,240</b>	<b>\$85,220</b>	<b>\$22,050</b>	<b>\$145,510</b>	<b>\$52,170</b>	<b>\$197,680</b>
<b>Site</b>						
Site		\$43,880		\$43,880		\$43,880
<b>Site Subtotal:</b>		<b>\$43,880</b>		<b>\$43,880</b>		<b>\$43,880</b>
<b>Damon House Subtotal:</b>	<b>\$62,400</b>	<b>\$435,210</b>	<b>\$37,180</b>	<b>\$534,790</b>	<b>\$304,300</b>	<b>\$839,090</b>



The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
<b>Damon House</b>				<b>AAB Threshold Value: \$94,530</b>		
P1 Accessibility Upgrades (Damon House) <i>Buildings affected by project: Damon House,</i>	\$223,043				\$223,043	<b>\$223,000</b>
P10 Exterior Finishes Upgrades (Historic) <i>Buildings affected by project: Damon House, Hendricks House Barn,</i>		\$247,406			\$247,406	<b>\$269,000</b>
P13 Interior Finishes Upgrades (Historic) <i>Buildings affected by project: Damon House, Hendricks House, Hendricks House Barn,</i>		\$76,440			\$76,440	<b>\$100,000</b>
P16 Maintenance Items <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Damon House, Dawson Elementary School, Public Safety Building Annex, Municipal Light Department, Senior Center, Public Safety Building, Town Hall, Gale Free Library, Dawson Pool Complex ,</i>				\$46,800	\$46,800	<b>\$86,000</b>
P3 MEP Improvements (Historic) <i>Buildings affected by project: Damon House, Hendricks House, Hendricks House Barn,</i>	\$196,133				\$196,133	<b>\$380,000</b>
<b>Damon House Subtotal:</b>	<b>\$419,175</b>	<b>\$323,846</b>		<b>\$46,800</b>	<b>\$789,821</b>	

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### D.3 DAVIS HILL ELEMENTARY SCHOOL

Address:	80 Jamieson Road Holden, MA
Size:	77,271 SF
Built:	2001
Assessed Value:	\$14,009,100 (9/5/18)
Floors:	2
Date Visited:	August 15, 2018

The Davis Elementary School was built in 2001, and is two floors. Its exterior is brick masonry and painted metal panels, which look like EIFS. The roof is asphalt shingle. The interior flooring is VCT and ceramic tile (in the bathrooms). The walls are painted gyp board. The ceilings are suspended acoustical tile.

The building's gymnasium has a wood floor and padded walls, with painted masonry above and behind the padding. The ceiling in the gymnasium is exposed. The gymnasium also has a raised stage area. This building does have an elevator.

As of September 5, 2018, the building's assessed value is \$14,009,100. 30% of the building's value is \$4,202,730.

#### Assessment General Comments

Overall, the building is in good shape. It is clear that the building is well maintained and mostly suffers from age issues (i.e. flooring needing to be replaced).

The boiler panel issues are similar to those in the boilers at Dawson Elementary School (see Section E.4 Dawson Elementary School). The boilers are manufactured by Cleaver Brooks and the model numbers are the same. The hot water circulating pumps are similar with larger horsepower motors.

The boilers and pumps were installed in 2000. The age of the boilers is approaching 20 years and the expected useful life of a hot water boiler with steel tubes is 25 to 30 years. With good maintenance the boilers could last longer. When the boilers need to be replaced the pumps should also be replaced as part of the entire project.

There is a wall mounted cabinet heater on the first floor of stair #2. The cabinet heater has a water leak. There was a puddle of water on the floor in front of the heater. There also appears to be a leak in the front office on the first floor from a wall-mounted cabinet heater

The IT room was without cooling. It was found that the condensing unit serving the air conditioning unit for the IT room was not running. The top cover of the condensing unit was damaged.

In the kitchen, the walk-in freezer has condensation on the exterior of the box. The condensation is causing pooling of water on the corridor floor just outside the kitchen. The exit doors close to the kitchen were open at the time of the walk through and the high humidity during that day contributed to the problem. The building, in general, is not air conditioned. The high humidity in the school with the exit doors closed indicates that there may still be a condensate problem.

The refrigerant piping connecting the air conditioning units inside with the condensing units outside is brittle and in disrepair. The foam insulation used for refrigerant piping is susceptible to deterioration from ultra violet rays. New insulation should be installed to replace the existing. In addition, Armaflex (a brand name) makes a coating that is brushed on to reduce the deterioration of the insulation from the sun.

There is a room off the kitchen next to the exit doors that houses three condensing units. The condensing units serve the Kitchen freezer and refrigerated walk-in coolers. The condensing units reject heat to the room. The exhaust fan, exhaust louver/discharge hood and room intake louver are insufficient. The exhaust and intake as well as the fan need to be modified or the condensing units should be relocated.

In general, the Plumbing and Fire Suppression systems are well maintained. There are a few scattered fixtures that require repair or replacement.

The domestic water boiler and water heater are new and in good shape. However, there are a few deficiencies in the installation. No expansion tank was installed on the domestic hot water system, which can lead to high pressure problems and usually to the operation of P&T relief valve. The larger problem is that there is no P&T relief valve installed on the domestic hot water side. There is one on the indirect tank, but it is on the boiler side, not on the domestic side. This is a common mistake with the Turbomax water heaters, as they are built differently from typical storage tanks. These two items are safety issues and should be corrected as soon as possible.

The floor drains in the bathrooms are reported to be problematic in two ways: first, that they back up; second, the floor pitches away from many of them. The piping should be scoped to locate the source of the back-ups and a project to correct the floor pitch should be planned.

The dryer vent in the first-floor laundry should be re-built to eliminate any lint catching protrusions.

The gutters and downspouts at the front of the building are also problematic. The underground storm drains leading from the downspouts should be scoped to determine if there is a blockage. The gutters also need to be cleaned twice a year and ice breaks or ice melt cable should be installed in the roof at the front entrance.

The most recent sprinkler system main drain test indicates a residual pressure drop of 15 psi, a 25% reduction in the past year. This is indicative of a problem with the water supply, which could be as simple as a closed valve or could represent a change in the overall demand on the municipal water supply. This is a serious safety issue which will likely result in insufficient sprinkler protection and must be addressed immediately.

The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan					
CATEGORIZATION BY BUILDING					
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal	Total (Subtotal and Code Triggered Cost)
<b>Davis Hill Elementary School</b>					
Maintenance	\$92,740	\$13,370	\$31,500	\$137,610	\$137,610
Capital Repair or Modernization	\$1,169,820	\$1,503,340	\$1,390,730	\$4,063,890	\$4,063,890
Elective Improvement	\$1,510			\$1,510	\$1,510
Noted for Information					
<b>Total Davis Hill Elementary School</b>	<b>\$1,264,070</b>	<b>\$1,516,710</b>	<b>\$1,422,230</b>	<b>\$4,203,010</b>	<b>\$4,203,010</b>

The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
DAVIS HILL ELEMENTARY SCHOOL						
Code						
Accessibility (Depends on Other Work)				\$3,760		\$3,760
Code Subtotal:				\$3,760		\$3,760
Envelope						
Doors				\$19,290		\$19,290
Finishes (Exterior)				\$6,210	\$8,080	\$14,290
Gutters and Downspouts				\$12,320	\$3,760	\$16,080
Lighting				\$3,760		\$3,760
Plumbing					\$4,880	\$4,880
Roofing				\$165,600	\$1,131,980	\$1,297,580
Sealant (Exterior)					\$73,500	\$73,500
Site				\$15,010		\$15,010
Envelope Subtotal:				\$222,190	\$1,148,700	\$1,444,390
Interior						
Doors				\$3,760		\$3,760
Finishes (Interior)				\$810,540	\$364,230	\$1,395,270
FYI						
Interior Subtotal:				\$814,300	\$364,230	\$1,399,030

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
MEP/FP						
Code (Depends on Other Work)	\$1,040			\$1,040		\$1,040
Electrical			\$53,980	\$53,980		\$53,980
Finishes (Interior)						
Fire Alarm			\$730,490	\$730,490		\$730,490
Fire Protection	\$137,650			\$137,650		\$137,650
FYI						
Gutters and Downspouts	\$5,180			\$5,180		\$5,180
HVAC	\$58,760	\$3,780	\$330,750	\$393,290		\$393,290
Lighting	\$7,760		\$7,510	\$15,270		\$15,270
Plumbing	\$11,920		\$5,500	\$17,420		\$17,420
MEP/FP Subtotal:	\$222,310	\$3,780	\$1,128,230	\$1,354,320		\$1,354,320
*Security						
Electrical	\$1,510			\$1,510		\$1,510
*Security Subtotal:	\$1,510			\$1,510		\$1,510
Davis Hill Elementary School Subtotal:	\$1,264,070	\$1,516,710	\$1,422,230	\$4,203,010		\$4,203,010

The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
<b>Davis Hill Elementary School</b>				<b>AAB Threshold Value: \$4,202,730</b>		
P19 Bathroom Floor Drainage Project (School) <i>Buildings affected by project: Davis Hill Elementary School,</i>	\$3,450				\$3,450	\$4,000
P21 Elective Improvement (Not Part of Project) <i>Buildings affected by project: Mayo Elementary School, Recreation Building, Municipal Light Department, Chaffins Sub-Station Fire Department, Dawson Elementary School, Davis Hill Elementary School, Town Hall,</i>				\$1,706	\$1,706	\$10,031,000
P26 Exterior Renovation (Schools) <i>Buildings affected by project: Davis Hill Elementary School, Dawson Elementary School, Mayo Elementary School,</i>	\$111,763				\$111,763	\$336,000
P12 Interior Finish Improvements (Schools) <i>Buildings affected by project: Mayo Elementary School, Davis Hill Elementary School, Dawson Elementary School,</i>		\$1,489,469			\$1,489,469	\$3,736,000
P16 Maintenance Items <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Damon House, Dawson Elementary School, Public Safety Building Annex, Municipal Light Department, Senior Center, Public Safety Building, Town Hall, Gale Free Library, Dawson Pool Complex ,</i>				\$1,170	\$1,170	\$86,000
P7 MEP/FP Improvements (School) - Year 1 to 3 <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Dawson Elementary School,</i>	\$219,722				\$219,722	\$1,958,000
P8 MEP/FP Improvements (School) - Year 8 to 10 <i>Buildings affected by project: Dawson Elementary School, Davis Hill Elementary School, Mayo Elementary School,</i>			\$1,128,215		\$1,128,215	\$1,611,000



Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
P14 Noted for Information (Not Part of Project) <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Public Safety Building Annex, Eagle Lake Bath House, Dawson Pool Complex , Trout Brook Function Hall, Chaffins Sub-Station Fire Department, Town Hall, Starbard Building, Senior Center, Gale Free Library, Public Safety Building, Recreation Building, Municipal Light Department, Dawson Elementary School,</i>						<b>\$20,000</b>
P36 Roofing, Gutters, and Downspouts (Schools) <i>Buildings affected by project: Davis Hill Elementary School, Dawson Elementary School, Mayo Elementary School,</i>		\$1,347,577			\$1,347,577	<b>\$5,505,000</b>
<b>Davis Hill Elementary School Subtotal:</b>	<b>\$334,935</b>	<b>\$2,837,045</b>	<b>\$1,128,215</b>	<b>\$2,876</b>	<b>\$4,303,071</b>	



**D.4 DAWSON ELEMENTARY SCHOOL**

Address:	155 Salisbury Street Holden, MA
Size:	59,178 SF
Built:	1960
Assessed Value:	\$8,279,400 (9/5/18)
Floors:	1
Date Visited:	August 15, 2018

Dawson Elementary School was built in 1960. It has been renovated recently (within the last twenty years). The building is a single story. Its exterior is brick and EIFS (possibly stucco). The roof is a flat membrane roof. The interior is VCT flooring, with ceramic tile in the bathrooms. The walls are painted gyp board. The ceiling is suspended acoustical tile. Because it is a single story, this building does not have an elevator.

As of September 5, 2018, this building is assessed at \$8,279,400. 30% of the building's value is \$2,483,820.

**Assessment General Comments**

Overall, the building is in good shape, and is well maintained. Most items are issues due to age and not poor care.

The building is heated by two oil fired Cleaver Brooks FlexTube boilers (model FLX 400) located in the boiler room. The heating hot water is distributed through a hot water piping distribution system to unit ventilators and cabinet. Two hot water pumps pump the heating hot water through the heating system.

In general, the building is not air conditioned, with the exception of selected spaces.

The boilers at the Dawson Elementary School have had their boiler side panels (outer casing) replaced as a result of rusting out due to internal condensation. The boiler outer casing panels have been replaced by custom made panels which were less expensive than the panels available from the manufacturer, Cleaver Brooks.

The condensing temperature of flue gas is approximately 130°F. Any surface within the boiler or in the boiler vent that is below 130°F will cause water droplets to form.

The manufacturer of the boilers recommends the minimum return water temperature to be 140°F or above and the supply water temperature going out of the boiler to the heating system to be a minimum of 150°F. Water temperature below these temperatures can cause damage to the tubes inside the boiler as a result of corrosion due to condensate formation.

For condensate to form on the inside face of the outer casing panes requires one of two likely possible conditions: 1) flue gas is present between the inner and outer casings, or 2) there is a pin-hole leak in one of the tubes in the boiler.

The boiler has two casings, the inner and outer side panels. To clean the exterior of the tubes (fireside) the casings need to be removed (normally yearly maintenance). Replacing these panels is outlined in the Inspection and Maintenance section of the Operation, Service, and Parts manual (Manual Part Number 750-177-R6, Revised 5/2014). If not properly reinstalled the inner casing panels with the necessary gaskets can result in flue gasses reaching the inside surface of the outer casing panels. The next time the boiler is opened up for routine service reinstallation of the interior panels needs to be done in strict accordance with the boiler manufacturer's instructions.

The tubes carrying water from the top drum to the bottom drum could have a pinhole leak. The boilers should be pressure tested to rule out this possibility. If a leak is found the leak needs to be repaired by a factory authorized service company in accordance with the manufacturer's instructions.

The age of the boilers is approaching 20 years and the expected useful life of a hot water boiler with steel tubes is 25 to 30 years. With good maintenance the boilers could last longer. When the boilers are needed to be replaced the pumps should also be replaced as part of the replacement project.

There are roof mounted exhaust fans which have their motor covers either missing or improperly fastened. These three fans (EF-12 & EF-21 & EF4) are not currently operational. There are several other fans that are unbalanced and causing either vibration or noise issues. These fans will rapidly deteriorate if not serviced.

AHU-2 located in the Boiler Room had a condensate leak during the walk through. We understood that the service company was called to correct the condition.

Overall the Plumbing system appears to be in good condition, though the interior condition of the piping could not be ascertained. There are a few fixtures that require service and several that are dated and should be slated to be replaced within the next few years.

The oil-fired water heater was installed in 2008 and appears to be in decent shape. This water heater could last another 10 years if maintained.

The Fire suppression and sprinkler systems are well maintained, regularly serviced and appear to be in good working condition.

The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan						
CATEGORIZATION BY BUILDING						
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>Dawson Elementary School</b>						
Maintenance	\$30,160	\$10,520	\$3,780	\$44,460		\$44,460
Capital Repair or Modernization	\$346,010	\$5,393,600	\$1,076,120	\$6,815,730	\$15,600	\$6,831,330
Elective Improvement	\$1,500			\$1,500		\$1,500
Noted for Information						
Other						
<b>Total Dawson Elementary School</b>	<b>\$377,670</b>	<b>\$5,404,120</b>	<b>\$1,079,900</b>	<b>\$6,861,690</b>	<b>\$15,600</b>	<b>\$6,877,290</b>

The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
DAWSON ELEMENTARY SCHOOL						
Code						
Accessibility (Depends on Other Work)						
Code Subtotal:						
Envelope						
Finishes (Exterior)		\$11,700		\$11,700		\$11,700
Insulation		\$5,260		\$5,260		\$5,260
Masonry		\$11,390		\$11,390		\$11,390
Roofing		\$4,036,500		\$4,036,500		\$4,036,500
Sealant (Exterior)		\$15,010		\$15,010		\$15,010
Envelope Subtotal:		\$26,400	\$4,053,460	\$4,079,860		\$4,079,860
Interior						
Doors		\$12,170		\$12,170		\$12,170
Finishes (Interior)		\$15,010	\$711,060	\$756,000	\$1,482,070	\$1,482,070
Interior Subtotal:		\$27,180	\$711,060	\$756,000	\$1,494,240	\$1,494,240
MEP/FP						
Code (Depends on Other Work)		\$1,040		\$1,040		\$1,040
Electrical				\$141,750	\$141,750	\$141,750
Fire Alarm			\$614,250	\$614,250		\$614,250

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
HVAC	\$195,250		\$158,870	\$354,120		\$354,120
Lighting			\$3,750	\$3,750		\$3,750
Plumbing	\$126,300	\$25,350	\$15,750	\$167,400	\$15,600	\$183,000
<b>MEP/FP Subtotal:</b>	<b>\$322,590</b>	<b>\$639,600</b>	<b>\$320,120</b>	<b>\$1,282,310</b>	<b>\$15,600</b>	<b>\$1,297,910</b>
<b>*Security</b>						
Electrical	\$1,500			\$1,500		\$1,500
<b>*Security Subtotal:</b>	<b>\$1,500</b>			<b>\$1,500</b>		<b>\$1,500</b>
<b>Site</b>						
Site			\$3,780	\$3,780		\$3,780
<b>Site Subtotal:</b>			<b>\$3,780</b>	<b>\$3,780</b>		<b>\$3,780</b>
<b>Dawson Elementary School Subtotal:</b>	<b>\$377,670</b>	<b>\$5,404,120</b>	<b>\$1,079,900</b>	<b>\$6,861,690</b>	<b>\$15,600</b>	<b>\$6,877,290</b>

The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
<b>Dawson Elementary School</b>				<b>AAB Threshold Value: \$2,483,820</b>		
P21 Elective Improvement (Not Part of Project) <i>Buildings affected by project: Mayo Elementary School, Recreation Building, Municipal Light Department, Chaffins Sub-Station Fire Department, Dawson Elementary School, Davis Hill Elementary School, Town Hall,</i>				\$1,697	\$1,697	<b>\$10,031,000</b>
P26 Exterior Renovation (Schools) <i>Buildings affected by project: Davis Hill Elementary School, Dawson Elementary School, Mayo Elementary School,</i>	\$55,761				\$55,761	<b>\$336,000</b>
P12 Interior Finish Improvements (Schools) <i>Buildings affected by project: Mayo Elementary School, Davis Hill Elementary School, Dawson Elementary School,</i>		\$1,430,033			\$1,430,033	<b>\$3,736,000</b>
P16 Maintenance Items <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Damon House, Dawson Elementary School, Public Safety Building Annex, Municipal Light Department, Senior Center, Public Safety Building, Town Hall, Gale Free Library, Dawson Pool Complex ,</i>				\$2,194	\$2,194	<b>\$86,000</b>
P7 MEP/FP Improvements (School) - Year 1 to 3 <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Dawson Elementary School,</i>	\$864,898				\$864,898	<b>\$1,958,000</b>
P8 MEP/FP Improvements (School) - Year 8 to 10 <i>Buildings affected by project: Dawson Elementary School, Davis Hill Elementary School, Mayo Elementary School,</i>			\$364,214		\$364,214	<b>\$1,611,000</b>

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
P14 Noted for Information (Not Part of Project) <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Public Safety Building Annex, Eagle Lake Bath House, Dawson Pool Complex , Trout Brook Function Hall, Chaffins Sub-Station Fire Department, Town Hall, Starbard Building, Senior Center, Gale Free Library, Public Safety Building, Recreation Building, Municipal Light Department, Dawson Elementary School,</i>						<b>\$20,000</b>
P36 Roofing, Gutters, and Downspouts (Schools) <i>Buildings affected by project: Davis Hill Elementary School, Dawson Elementary School, Mayo Elementary School,</i>		\$4,036,500			\$4,036,500	<b>\$5,505,000</b>
<b>Dawson Elementary School Subtotal:</b>	<b>\$920,658</b>	<b>\$5,466,533</b>	<b>\$364,214</b>	<b>\$3,890</b>	<b>\$6,755,295</b>	



## D.5 DAWSON POOL COMPLEX

Address:	200 Salisbury Street Holden, MA
Size:	Unknown
Built:	2003
Assessed Value:	Unknown
Floors:	2
Date Visited:	August 28, 2018

The Dawson Pool Complex consists of a series of multiple buildings. Most of these have been built in the last twenty years, though one of them is older. The complex is surrounded by a fence. The building with the older section is used primarily for concessions and as mechanical space and storage. It is a single floor, consisting of a few large open rooms. The interior is open to the studs. The floor is exposed concrete. The exterior of this building is fiber cement siding with wood trim. It has a flat membrane roof.

The smallest building on the site is used to house a vending machine. This is also fiber cement siding with the interior open to the studs. The roof of this building is asphalt shingle.

The largest building in the complex is two stories. There is no elevator, but the grade of the site allows for access at both the first and second floor level—however, a person avoiding the stairs

would be required to exit the building and travel entirely around it to re-enter at the other level. The exterior is fiber cement siding with wood trim. The roof of this building is partially asphalt shingle, partially flat membrane roofing, but largely modified bitumen roofing. The interior of the upstairs level is exposed studs and sheathing. A small office area and bathroom here have gyp board walls. The lower level, serving as bathroom facilities, has an exposed concrete floor and painted gyp board walls.

The assessed value of this building is unknown.

### Assessment General Comments

All of the buildings are in good shape; however, due to the use and exposure of the building, several items require modernization.

There is a roof fan on the main building that provides exhaust for the Toilet/Locker Rooms and second floor lunch area. The fan has been used in summer months for 15 years. Normally the useful life of a roof fan is 25 years, but because the fan only operates in the summer the life expectancy, with proper maintenance, can be expected to operate in excess of the expected useful life. No replacement is suggested for the near future.

There is a pool heater just outside the Filter/Pump Room. A pool heater's life expectancy is 20 years. The heater looks to be older than 5 years, and if older should be considered for replacement.

The gas piping to the heater has a dirt leg. Dirt legs are normally for gas piping inside a building because the dirt leg also serves as a condensate trap. Outside of the building the dirt leg could collect moisture, which would freeze and crack the gas piping. When the pool heater is replaced (depending upon its current age) the gas piping dirt leg should be eliminated.

The plumbing systems and fixtures in general are in good condition. The water heater, however, is 15 years old, corroded, and is leaking. The water heater should be replaced as soon as possible. The size of the water heater should be verified prior to replacement. Low flow shower heads should also be considered to limit the required size of the water heater.

The domestic water supply to the rest of the facility does not appear to be adequately protected from the pool equipment. There are hose connections without vacuum breakers, and equipment connections, which should be protected by an RPZ. There is a backflow preventer on the water supply from the street.

The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan					
CATEGORIZATION BY BUILDING					
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal	Total (Subtotal and Code Triggered Cost)
<b>Dawson Pool Complex</b>					
Maintenance	\$1,900			\$1,900	\$1,900
Capital Repair or Modernization	\$135,150	\$192,090	\$84,000	\$411,240	\$411,240
Noted for Information					
<b>Total Dawson Pool Complex</b>	<b>\$137,050</b>	<b>\$192,090</b>	<b>\$84,000</b>	<b>\$413,140</b>	<b>\$413,140</b>



The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan							
SYSTEM CATEGORY (WITH WORK TYPE)							
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)	
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal			
DAWSON POOL COMPLEX							
Envelope							
Finishes (Exterior)				\$73,130	\$73,130	\$73,130	
Envelope Subtotal:				\$73,130	\$73,130	\$73,130	
Interior							
Finishes (Interior)				\$20,480	\$84,000	\$104,480	
Interior Subtotal:				\$20,480	\$84,000	\$104,480	
MEP/FP							
Code (Depends on Other Work)				\$1,040	\$1,040	\$1,040	
Electrical				\$3,000	\$3,000	\$3,000	
Fire Alarm				\$97,500	\$97,500	\$97,500	
HVAC							
Plumbing				\$133,010	\$980	\$133,990	
MEP/FP Subtotal:				\$137,050	\$98,480	\$235,530	
Dawson Pool Complex Subtotal:				\$137,050	\$192,090	\$84,000	\$413,140

The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
<b>Dawson Pool Complex</b>					<b>AAB Threshold Value:</b>	<b>\$0</b>
P23 Exterior and Interior Renovation (Various Buildings) <i>Buildings affected by project: Trout Brook Function Hall, Dawson Pool Complex , Eagle Lake Bath House, Recreation Building,</i>		\$171,600			\$171,600	\$244,000
P16 Maintenance Items <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Damon House, Dawson Elementary School, Public Safety Building Annex, Municipal Light Department, Senior Center, Public Safety Building, Town Hall, Gale Free Library, Dawson Pool Complex ,</i>				\$1,170	\$1,170	\$86,000
P6 MEP Improvements (Various Buildings) <i>Buildings affected by project: Dawson Pool Complex , Recreation Building, Trout Brook Function Hall, Eagle Lake Bath House,</i>	\$223,112				\$223,112	\$554,000
P14 Noted for Information (Not Part of Project) <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Public Safety Building Annex, Eagle Lake Bath House, Dawson Pool Complex , Trout Brook Function Hall, Chaffins Sub-Station Fire Department, Town Hall, Starbard Building, Senior Center, Gale Free Library, Public Safety Building, Recreation Building, Municipal Light Department, Dawson Elementary School,</i>						\$20,000
<b>Dawson Pool Complex Subtotal:</b>	<b>\$223,112</b>	<b>\$171,600</b>		<b>\$1,170</b>	<b>\$395,882</b>	

## D.6 EAGLE LAKE BATH HOUSE

Address:	66 Causeway Street Holden, MA
Size:	Unknown
Built:	Unknown
Assessed Value:	\$13,000 (9/5/18)
Floors:	1
Date Visited:	August 28, 2018

The Eagle Lake Bath House is a small single-story building consisting of a men's bathroom and changing room, a women's bathroom and changing room, and unisex (accessible) bathroom and changing room, and a small storage and electrical space. The exterior of the building is concrete masonry units. It is painted on the interior and exterior. The building has a metal panel roof, and exposed wood rafters. It has an exposed concrete floor.

As it is a single-story building, it does not have an elevator.

As of September 5, 2018, the assessed value of this building is \$13,000. 30% of the assessed value is \$3,900.

### Assessment General Comments

Overall, the building is in fair condition.

The building is ventilated by two exhaust fans at both sides of the building's gable ends. The fans run only when the building is open in the summer months. The expected useful life of a propeller fan is 15 years. The fans are approximately 6 years old. No HVAC work is recommended at this time.

The plumbing is not in very good shape. The electric water heater was installed in 2006 and would typically be considered old. However, since the building is drained over the winter and has very light use, this water heater could remain in service for another 5 years.

Due to the fact that the building is not consistently used, the traps are drying out, which allows sewer gas to enter the space. There is also a clean-out plug missing from the men's room. The ADA bathroom needs new insulation installed under the lavatory and hose bibbs should be installed in the bathrooms.

There is no fire protection system installed in this building.

The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan						
CATEGORIZATION BY BUILDING						
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>Eagle Lake Bath House</b>						
Maintenance	\$750			\$750		\$750
Capital Repair or Modernization	\$18,490	\$149,400	\$10,080	\$177,970	\$6,830	\$184,800
Noted for Information						
<b>Total Eagle Lake Bath House</b>	<b>\$19,240</b>	<b>\$149,400</b>	<b>\$10,080</b>	<b>\$178,720</b>	<b>\$6,830</b>	<b>\$185,550</b>

The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
EAGLE LAKE BATH HOUSE						
Code						
Accessibility (Depends on Other Work)					\$6,830	\$6,830
Code Subtotal:					\$6,830	\$6,830
Interior						
Finishes (Interior)				\$10,080	\$10,080	\$10,080
Interior Subtotal:				\$10,080	\$10,080	\$10,080
MEP/FP						
Emergency Lighting				\$7,250	\$7,250	\$7,250
Fire Alarm						
HVAC						
Lighting				\$144,900	\$144,900	\$144,900
Plumbing				\$11,990 \$4,500	\$16,490	\$16,490
MEP/FP Subtotal:				\$19,240 \$149,400	\$168,640	\$168,640
Eagle Lake Bath House Subtotal:				\$19,240 \$149,400 \$10,080	\$178,720	\$6,830 \$185,550

The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
<b>Eagle Lake Bath House</b>				<b>AAB Threshold Value: \$3,900</b>		
P23 Exterior and Interior Renovation (Various Buildings) <i>Buildings affected by project: Trout Brook Function Hall, Dawson Pool Complex , Eagle Lake Bath House, Recreation Building,</i>		\$9,360			\$9,360	<b>\$244,000</b>
P6 MEP Improvements (Various Buildings) <i>Buildings affected by project: Dawson Pool Complex , Recreation Building, Trout Brook Function Hall, Eagle Lake Bath House,</i>	\$157,446				\$157,446	<b>\$554,000</b>
P14 Noted for Information (Not Part of Project) <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Public Safety Building Annex, Eagle Lake Bath House, Dawson Pool Complex , Trout Brook Function Hall, Chaffins Sub-Station Fire Department, Town Hall, Starbard Building, Senior Center, Gale Free Library, Public Safety Building, Recreation Building, Municipal Light Department, Dawson Elementary School,</i>				\$19,500	\$19,500	<b>\$20,000</b>
<b>Eagle Lake Bath House Subtotal:</b>	<b>\$157,446</b>	<b>\$9,360</b>		<b>\$19,500</b>	<b>\$186,306</b>	

## D.7 GALE FREE LIBRARY

Address:	23 Highland Street Holden, MA
Size:	14,396 SF
Built:	1890
Assessed Value:	\$3,752,400 (9/5/18)
Floors:	3 + Attic
Date Visited:	August 22, 2018

The Gale Free Library was built in 1890 and was originally the Town of Holden's High School. There is an addition at the back of the library from the 1990s that increased its size. The library is three floors, including a basement. It also has a clock tower. The exterior of the building's older section is stone masonry. Some of the stones have carved decorative features. The roof in this section is slate. The exterior of the addition to the building is polished stone. The roof in this section is metal panel, with a small flat membrane roof area.

The interior of the building is carpeted. Some of the walls are painted gyp board with wood trim. Where the buildings have been joined the walls are those of the original high school, and are exposed masonry. The addition has a suspended acoustical tile ceiling. The ceilings in the older area are the original plaster ceilings. The library does have an elevator. The tower room area is not accessible, but it is not open to the public.

As of September 5, 2018, the building's value is \$3,752,400. 30% of the building's value is \$1,125,720.

### Assessment General Comments

Overall, the building is in fair to good condition. There is evidence that water is getting into the building either through the roofing or flashing issues at the masonry. Otherwise, most issues are due to normal wear and tear.

There are two air cooled condensing units on the roof of the building. The condensing unit closest to the library parking area looks to be 20 years old (no nameplate data). The unit is at or near its expected useful life, and should be replaced within the next 1 to 3 years. The second condensing unit is manufactured by Bryant and is 15 years old. The unit still has 5 years of service before replacement should be considered.

The associated air handling units are in the Boiler Room. Both units appear to have been installed in 2007 and are in good condition. No work is recommended for these units.

There are two packaged roof top units on the roof near the air-cooled condensing units. The roof top units are approximately 15 years old and have about 5 more years of useful life expectancy.

The boiler in the boiler room was installed in 2007. The unit looks to be in good condition, and no work is recommended at this time.

The plumbing system is in fair shape. The bathrooms are in good condition. The main water heater is now 10 years old and is due to be replaced. A heat trap and expansion tank should also be installed. There is a point-of-use water heater under the second-floor sink that appears to be 11 years old, which should also be replaced.

The library has a combined sprinkler / standpipe system that appears to be well maintained. The only deficiency found is that there is no hydraulic information sign on the alarm valve, and no spare sprinkler box in the valve room. The original design drawings need to be located to determine the hydraulic information, and the service company can add the sprinkler box with spare heads.

The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan						
CATEGORIZATION BY BUILDING						
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>Gale Free Library</b>						
Maintenance	\$9,750	\$6,750		\$16,500		\$16,500
Capital Repair or Modernization	\$285,950	\$985,500	\$806,820	\$2,078,270	\$665,750	\$2,744,020
Noted for Information						
<b>Total Gale Free Library</b>	<b>\$295,700</b>	<b>\$992,250</b>	<b>\$806,820</b>	<b>\$2,094,770</b>	<b>\$665,750</b>	<b>\$2,760,520</b>



The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
GALE FREE LIBRARY						
Code						
Accessibility (Depends on Other Work)					\$655,650	\$655,650
Code Subtotal:					\$655,650	\$655,650
Envelope						
Finishes (Exterior)		\$75,040		\$75,040		\$75,040
Finishes (Interior)		\$45,030		\$45,030		\$45,030
Masonry		\$22,530		\$63,000	\$85,530	\$85,530
Renovation (Multiple Types)		\$15,010			\$15,010	\$15,010
Roofing			\$393,760		\$393,760	\$393,760
Windows		\$8,640			\$8,640	\$8,640
Envelope Subtotal:		\$166,250	\$393,760	\$63,000	\$623,010	\$623,010
Interior						
Accessibility (Depends on Other Work)					\$10,100	\$10,100
Finishes (Interior)		\$2,250	\$43,880	\$430,920	\$477,050	\$477,050
Windows			\$2,250		\$2,250	\$2,250
Interior Subtotal:		\$2,250	\$46,130	\$430,920	\$479,300	\$10,100
MEP/FP						
Code (Depends on Other Work)						

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Electrical	\$3,000		\$94,500	\$97,500		\$97,500
Emergency Lighting		\$56,160		\$56,160		\$56,160
Fire Alarm	\$124,200			\$124,200		\$124,200
Fire Protection		\$4,500		\$4,500		\$4,500
FYI						
HVAC		\$58,500	\$218,400	\$276,900		\$276,900
Lighting		\$421,200		\$421,200		\$421,200
Plumbing		\$12,000		\$12,000		\$12,000
<b>MEP/FP Subtotal:</b>	<b>\$127,200</b>	<b>\$552,360</b>	<b>\$312,900</b>	<b>\$992,460</b>		<b>\$992,460</b>
<b>Gale Free Library Subtotal:</b>	<b>\$295,700</b>	<b>\$992,250</b>	<b>\$806,820</b>	<b>\$2,094,770</b>	<b>\$665,750</b>	<b>\$2,760,520</b>

The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
<b>Gale Free Library</b>				<b>AAB Threshold Value: \$1,125,720</b>		
P25 Exterior and Minor Interior Renovation (Gale Library) <i>Buildings affected by project: Gale Free Library,</i>	\$295,422				\$295,422	<b>\$295,000</b>
P29 Interior and Exterior Renovation (Gale Library) <i>Buildings affected by project: Gale Free Library,</i>		\$2,004,772			\$2,004,772	<b>\$2,005,000</b>
P11 Interior Finish Improvements (Gale Library) <i>Buildings affected by project: Gale Free Library,</i>			\$430,920		\$430,920	<b>\$430,000</b>
P16 Maintenance Items <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Damon House, Dawson Elementary School, Public Safety Building Annex, Municipal Light Department, Senior Center, Public Safety Building, Town Hall, Gale Free Library, Dawson Pool Complex ,</i>				\$3,713	\$3,713	<b>\$86,000</b>
P14 Noted for Information (Not Part of Project) <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Public Safety Building Annex, Eagle Lake Bath House, Dawson Pool Complex , Trout Brook Function Hall, Chaffins Sub-Station Fire Department, Town Hall, Starbard Building, Senior Center, Gale Free Library, Public Safety Building, Recreation Building, Municipal Light Department, Dawson Elementary School,</i>						<b>\$20,000</b>
<b>Gale Free Library Subtotal:</b>	<b>\$295,422</b>	<b>\$2,004,772</b>	<b>\$430,920</b>	<b>\$3,713</b>	<b>\$2,734,826</b>	

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## D.8 HENDRICKS HOUSE

Address:	1157 Main Street Holden, MA
Size:	1,644 SF
Built:	1890
Assessed Value:	\$154,100 (9/5/18)
Floors:	3 (2 + Basement)
Date Visited:	August 28, 2018

Hendricks House is a former residence built in 1890. It is currently being occupied by the Holden Historic Society. It is two floors with a basement and an attic. The building has a stone foundation. It is wood framed, with wood siding and trim. The roof is asphalt. No significant changes have happened to the skeleton of the building. The most-used area has had some work done out of necessity, but no significant renovations have occurred. The interior of the building is carpet and ceramic tile. The walls are largely wallpapered, with some painted gyp. The ceiling is painted gyp board.

The building has no elevator. It is not accessible at the first-floor level. There is also a barn on site (see E.9).

As of September 8, 2018, the assessed value of the building \$154,100. 30% of the building's value is \$46,230.

### Assessment General Comments

As an administrative building for the historical society, the building is in fair condition. Most of the rooms are used for general storage of historical artifacts as opposed to showing the building off as an historical element. Consequently, it is assumed that the building is only used by historical society employees and therefore, is not required to be accessible per the MAAB.

The heating system consists of a gas fired condensing boiler and existing steam piping reused for hot water piping. The boiler was installed in 2014 as part of an oil to gas heating conversion. The oil tank was not removed during the conversion from oil to gas. The oil tank should be removed in accordance with The Massachusetts State Fire Code 527 CMR section 9.07. The new sections of hot water piping in the basement are not insulated, and should be insulated.

The boiler manufacturer's installation instructions call for a combustion air fitting when combustion air is taken from the basement. The combustion air fitting is not installed.

The existing hot water piping and the old boiler should be checked for hazardous materials. The piping insulation looks old and may have been installed prior to prohibition of certain insulation materials.

At the time of the walk-through the Basement was damp and there was some mold growth noticed in the basement and on the basement door. We suggest installing dehumidifiers to mitigate the humidity level.

The plumbing in the basement is in relatively good condition, though recent repairs to the system suggest that the entire sanitary system is likely in need of replacement. The system appears to pre-date current plumbing codes and standard practices as evident by the lack of a trap and proper vent at the 2<sup>nd</sup> floor sink. It could not be determined if other fixtures were piped in similar fashion, but it is presumed to be the case.

The new combination boiler/water heater should have an expansion tank on the domestic water side. The pipes should also be insulated.

There is no fire protection system installed in this building.

The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan						
CATEGORIZATION BY BUILDING						
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>Hendricks House</b>						
Maintenance	\$10,410	\$3,900		\$14,310		\$14,310
Capital Repair or Modernization	\$67,770	\$63,890	\$32,720	\$164,380	\$14,490	\$178,870
Other	\$4,310			\$4,310		\$4,310
<b>Total Hendricks House</b>	<b>\$82,490</b>	<b>\$67,790</b>	<b>\$32,720</b>	<b>\$183,000</b>	<b>\$14,490</b>	<b>\$197,490</b>

The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
HENDRICKS HOUSE						
Interior						
Finishes (Interior)	\$19,930			\$19,930		\$19,930
Interior Subtotal:	\$19,930			\$19,930		\$19,930
MEP/FP						
Code (Depends on Other Work)	\$7,760			\$7,760		\$7,760
Electrical	\$29,890	\$14,590		\$44,480	\$14,490	\$58,970
Emergency Lighting	\$12,090			\$12,090		\$12,090
Fire Alarm			\$23,390	\$23,390		\$23,390
Fire Protection						
HVAC	\$8,510			\$8,510		\$8,510
Lighting		\$49,300	\$7,790	\$57,090		\$57,090
Plumbing	\$4,310	\$3,900	\$1,540	\$9,750		\$9,750
MEP/FP Subtotal:	\$62,560	\$67,790	\$32,720	\$163,070	\$14,490	\$177,560
Hendricks House Subtotal:	\$82,490	\$67,790	\$32,720	\$183,000	\$14,490	\$197,490

The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
<b>Hendricks House</b>					<b>AAB Threshold Value:</b>	<b>\$46,230</b>
P13 Interior Finishes Upgrades (Historic) <i>Buildings affected by project: Damon House, Hendricks House, Hendricks House Barn,</i>		\$22,523			\$22,523	<b>\$100,000</b>
P3 MEP Improvements (Historic) <i>Buildings affected by project: Damon House, Hendricks House, Hendricks House Barn,</i>	\$162,172				\$162,172	<b>\$380,000</b>
<b>Hendricks House Subtotal:</b>	<b>\$162,172</b>	<b>\$22,523</b>			<b>\$184,694</b>	



**D.9 HENDRICKS HOUSE BARN**

Address: 1157 Main Street  
Holden, MA  
Size: 676 SF  
Built: 1890  
Assessed Value: \$9,100 (9/5/18)  
Floors: 1 + Loft  
Date Visited: August 28, 2018

The Hendricks House Barn is a nineteenth-century barn currently being used for storage. It is one floor with a loft area. It has undergone little significant renovation. The exterior is wood siding and trim. The roof is asphalt shingle. The floor is wood, and the interior is exposed. The barn is completely inaccessible.

It is very likely that this barn is not weatherproof.

The assessed value of the building is \$9,100. 30% of its value is \$2,730.

**Assessment General Comments**

The building is used for storage and therefore, the condition is acceptable, but starting to require attention. If this building were to be used for regular occupancy, many updates would be needed.

The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan					
CATEGORIZATION BY BUILDING					
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal	Total (Subtotal and Code Triggered Cost)
<b>Hendricks House Barn</b>					
Maintenance	\$5,450			\$5,450	\$5,450
Capital Repair or Modernization	\$21,560		\$17,030	\$38,590	\$38,590
<b>Total Hendricks House Barn</b>	<b>\$27,010</b>		<b>\$17,030</b>	<b>\$44,040</b>	<b>\$44,040</b>

The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
HENDRICKS HOUSE BARN						
Envelope						
Finishes (Exterior)	\$7,760			\$7,760		\$7,760
Windows	\$6,040			\$6,040		\$6,040
Envelope Subtotal:	\$13,800			\$13,800		\$13,800
Interior						
Finishes (Interior)	\$910			\$910		\$910
Interior Subtotal:	\$910			\$910		\$910
MEP/FP						
Electrical	\$7,760			\$7,760		\$7,760
Lighting			\$17,030	\$17,030		\$17,030
MEP/FP Subtotal:	\$7,760		\$17,030	\$24,790		\$24,790
Site						
Site	\$4,540			\$4,540		\$4,540
Site Subtotal:	\$4,540			\$4,540		\$4,540
Hendricks House Barn Subtotal:				\$27,010	\$17,030	\$44,040

The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
<b>Hendricks House Barn</b>					<b>AAB Threshold Value:</b>	<b>\$2,730</b>
P10 Exterior Finishes Upgrades (Historic) <i>Buildings affected by project: Damon House, Hendricks House Barn,</i>		\$20,719			\$20,719	<b>\$269,000</b>
P13 Interior Finishes Upgrades (Historic) <i>Buildings affected by project: Damon House, Hendricks House, Hendricks House Barn,</i>		\$1,024			\$1,024	<b>\$100,000</b>
P3 MEP Improvements (Historic) <i>Buildings affected by project: Damon House, Hendricks House, Hendricks House Barn,</i>	\$21,756				\$21,756	<b>\$380,000</b>
<b>Hendricks House Barn Subtotal:</b>	<b>\$21,756</b>	<b>\$21,743</b>			<b>\$43,498</b>	

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## D.10 MAYO ELEMENTARY SCHOOL

Address:	351 Bullard Street Holden, MA
Size:	83,889 SF
Built:	1998
Assessed Value:	\$15,637,500 (9/5/18)
Floors:	2
Date Visited:	August 28, 2018

The Mayo Elementary School was built in 1998 and is in good condition. It is a two-story building. The exterior is brick and painted metal panel (likely EIFS). The roof is mainly asphalt shingle, but portions of it are metal panel. The interior floors are VCT and ceramic tile in the bathrooms. The ceiling is suspended acoustical tiles. The walls are painted gyp board. The building does have an elevator.

As of September 5, 2018, this building is assessed at \$15,637,500. 30% of the building's value is \$4,691,250.

### Assessment General Comments

Overall, the building is in good shape and has been well maintained.

The boiler panel issues are similar, but slightly smaller than, the boilers in the Dawson and Davis Hill Elementary Schools. The boilers are manufactured by Cleaver Brooks and the model numbers are FLX 350. The hot water circulating pumps are similar with smaller horsepower motors.

In general, the building is not air conditioned (with the exception of selected spaces).

The boilers and pumps were installed in 1999 or 2000. The age of the boilers is approaching 20 years and the expected useful life of a hot water boiler with steel tubes is 25 to 30 years. With good maintenance the boilers could last longer. When the boilers are replaced the pumps should also be replaced as part of the replacement project.

There is a kitchen exhaust fan on the roof with the fan cowl damaged. The cowl should be replaced.

The air conditioning for the IT room was not functioning at the time of the walk through. It was determined that the condensing unit was not running. A service call was to be made to restore operation of the cooling system.

The building does not have a software driven Building Management System (BMS). All of the controls for the HVAC equipment are stand-alone (on board controls supplied with the equipment or local thermostats, switches, etc.). Some consideration should be given to installing a BMS which could provide better and more economical operation of the building systems.

In general, the Plumbing and Fire Suppression systems are well maintained. There are a few scattered fixtures that require repair or replacement. In general, the flush valves should be adjusted. We found that about 10% of the fixtures appear to flush too much water.

There were several ceiling tiles either missing or out of place. These missing ceiling tiles may prevent proper sprinkler head activation if there is a fire.

The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan						
CATEGORIZATION BY BUILDING						
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Mayo Elementary School						
Maintenance	\$33,970	\$10,490		\$44,460		\$44,460
Capital Repair or Modernization	\$942,860	\$1,090,260	\$23,690	\$2,056,810		\$2,056,810
Elective Improvement	\$450,000			\$450,000		\$450,000
Noted for Information						
Total Mayo Elementary School	\$1,426,830	\$1,100,750	\$23,690	\$2,551,270		\$2,551,270

The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
MAYO ELEMENTARY SCHOOL						
Elevator						
Elevator				\$2,250	\$2,250	\$2,250
Elevator Subtotal:				\$2,250	\$2,250	\$2,250
Envelope						
Finishes (Exterior)				\$3,000	\$3,000	\$3,000
Finishes (Interior)				\$30,010	\$30,010	\$30,010
Gutters and Downspouts				\$103,480	\$103,480	\$103,480
Masonry				\$22,510	\$12,740	\$35,250
Renovation (Multiple Types)				\$14,110	\$14,110	\$14,110
Sealant (Exterior)				\$97,460	\$97,460	\$97,460
Windows				\$3,740	\$3,740	\$3,740
Envelope Subtotal:				\$271,310	\$15,740	\$287,050
Interior						
Doors						
Finishes (Interior)				\$666,100	\$26,310	\$692,410
Interior Subtotal:				\$666,100	\$26,310	\$692,410
MEP/FP						
Code (Depends on Other Work)						

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Electrical	\$3,750	\$87,750		\$91,500		\$91,500
Finishes (Interior)	\$3,000			\$3,000		\$3,000
Fire Alarm		\$859,950		\$859,950		\$859,950
FYI						
HVAC	\$464,640	\$90,000		\$554,640		\$554,640
Lighting	\$750		\$1,190	\$1,940		\$1,940
Plumbing	\$14,690		\$22,500	\$37,190		\$37,190
Roofing	\$2,590			\$2,590		\$2,590
<b>MEP/FP Subtotal:</b>	<b>\$489,420</b>	<b>\$1,037,700</b>	<b>\$23,690</b>	<b>\$1,550,810</b>		<b>\$1,550,810</b>
<b>*Security</b>						
Electrical						
<b>*Security Subtotal:</b>						
<b>Site</b>						
Site		\$18,750		\$18,750		\$18,750
<b>Site Subtotal:</b>		<b>\$18,750</b>		<b>\$18,750</b>		<b>\$18,750</b>
<b>Mayo Elementary School Subtotal:</b>	<b>\$1,426,830</b>	<b>\$1,100,750</b>	<b>\$23,690</b>	<b>\$2,551,270</b>		<b>\$2,551,270</b>



The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
<b>Mayo Elementary School</b>				<b>AAB Threshold Value: \$4,691,250</b>		
P21 Elective Improvement (Not Part of Project) <i>Buildings affected by project: Mayo Elementary School, Recreation Building, Municipal Light Department, Chaffins Sub-Station Fire Department, Dawson Elementary School, Davis Hill Elementary School, Town Hall,</i>				\$510,647	\$510,647	<b>\$10,031,000</b>
P26 Exterior Renovation (Schools) <i>Buildings affected by project: Davis Hill Elementary School, Dawson Elementary School, Mayo Elementary School,</i>	\$168,324				\$168,324	<b>\$336,000</b>
P12 Interior Finish Improvements (Schools) <i>Buildings affected by project: Mayo Elementary School, Davis Hill Elementary School, Dawson Elementary School,</i>		\$816,609			\$816,609	<b>\$3,736,000</b>
P16 Maintenance Items <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Damon House, Dawson Elementary School, Public Safety Building Annex, Municipal Light Department, Senior Center, Public Safety Building, Town Hall, Gale Free Library, Dawson Pool Complex ,</i>				\$4,269	\$4,269	<b>\$86,000</b>
P7 MEP/FP Improvements (School) - Year 1 to 3 <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Dawson Elementary School,</i>	\$873,421				\$873,421	<b>\$1,958,000</b>
P8 MEP/FP Improvements (School) - Year 8 to 10 <i>Buildings affected by project: Dawson Elementary School, Davis Hill Elementary School, Mayo Elementary School,</i>			\$118,199		\$118,199	<b>\$1,611,000</b>

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
P14 Noted for Information (Not Part of Project) <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Public Safety Building Annex, Eagle Lake Bath House, Dawson Pool Complex, Trout Brook Function Hall, Chaffins Sub-Station Fire Department, Town Hall, Starbard Building, Senior Center, Gale Free Library, Public Safety Building, Recreation Building, Municipal Light Department, Dawson Elementary School,</i>						<b>\$20,000</b>
P36 Roofing, Gutters, and Downspouts (Schools) <i>Buildings affected by project: Davis Hill Elementary School, Dawson Elementary School, Mayo Elementary School,</i>		\$119,923			\$119,923	<b>\$5,505,000</b>
<b>Mayo Elementary School Subtotal:</b>	<b>\$1,041,745</b>	<b>\$936,532</b>	<b>\$118,199</b>	<b>\$514,915</b>	<b>\$2,611,390</b>	

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## D.11 MUNICIPAL LIGHT DEPARTMENT

Address:	1 Holden Street Holden, MA
Size:	14,719 SF
Built:	2001
Assessed Value:	\$2,171,100 (9/5/18)
Floors:	2
Date Visited:	August 28, 2018

The Holden Municipal Light Department is less than twenty years old (built in 2001). It has two regions, partially office space and partially garage. It is two stories tall in the office region—the garage is a single story. The Municipal Light Department building has an elevator.

The exterior of the office space section is brick. The roof is metal panel. The interior of this section has a carpeted floor, with painted gyp walls and suspended acoustical tile ceilings. The exterior of the garage is brick to three feet, and then painted metal. It has a flat membrane roof. The garage has an exposed concrete floor and exposed above structure—there are no gyp board walls.

As of September 5, 2018, this building is assessed at \$2,171,100. 30% of the building's value is \$651,330.

### Assessment General Comments

Overall, the building is in good shape.

The building is heated by a high efficiency, gas-fired hot water boiler and a pumped heating hot water piping distribution system. The boiler is 17 years old and near its expected useful life. Replacement should be considered within the next 3 to 5 years.

There is a boiler and vent system that runs from the boiler room through the attic and up through the roof. In the Boiler Room the boiler vent is resting on a Unistrut support that is corroded at the location where the boiler vent turns to go up through the building. The Unistrut has deformed under the weight of the boiler vent due to the corrosion.

There is evidence the boiler vent has been leaking condensate from inside the vent. The boiler was not operating when we walked through the building and we cannot determine if the leaking has been corrected. There is sealing compound on many of the joints. There is also a hanger supporting the boiler vent piping in the attic, which is also corroded. The corrosion in the attic may be caused by a leak at the boiler vent roof penetration or also caused by internal condensation leaking out of the joints. The leaks should be corrected, and the supports replaced. When the boiler is replaced it may be appropriate to replace the combustion air intake and boiler venting at the same time.

There is a chiller in the boiler room that appears to be approximately the same age as the boiler. The chiller and remote air-cooled condensing unit are also subject to replacement due to their age.

There is insulation missing from the chilled water pumps and damaged insulation on the chilled water air separator. In both cases there is condensate dripping on the floor of the room.

The roof mounted exhaust fan serving the lower level toilet rooms and lockers does not appear to be running. The fan could either be off through the control system or there may be something wrong with the fan that needs to be corrected.

The plumbing appears to be in relatively good condition. The domestic water heater is at the end of its useful life and should be scheduled to be replaced. It takes several minutes to get hot water to the bathroom sinks. A hot water recirculation system should be considered when replacing the water heater. An expansion tank and heat trap should also be installed.

The fire suppression system is in good condition and well maintained.

The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan						
CATEGORIZATION BY BUILDING						
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Municipal Light Department						
Maintenance	\$19,500			\$19,500		\$19,500
Capital Repair or Modernization	\$6,750	\$2,250	\$422,240	\$431,240		\$431,240
Elective Improvement		\$22,500		\$22,500		\$22,500
Noted for Information						
Total Municipal Light Department	\$26,250	\$24,750	\$422,240	\$473,240		\$473,240

The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total <i>(Subtotal and Code Triggered Cost)</i>
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
MUNICIPAL LIGHT DEPARTMENT						
Envelope						
Masonry	\$7,500			\$7,500		\$7,500
Sealant (Exterior)		\$2,250		\$2,250		\$2,250
Envelope Subtotal:	\$7,500	\$2,250		\$9,750		\$9,750
Interior						
Renovation (Multiple Types)	\$750			\$750		\$750
Interior Subtotal:	\$750			\$750		\$750
MEP/FP						
Electrical						
Fire Alarm			\$155,400	\$155,400		\$155,400
FYI						
HVAC	\$11,250		\$187,490	\$198,740		\$198,740
Lighting			\$75,600	\$75,600		\$75,600
Plumbing	\$6,750	\$22,500	\$3,750	\$33,000		\$33,000
MEP/FP Subtotal:	\$18,000	\$22,500	\$422,240	\$462,740		\$462,740
Municipal Light Department Subtotal:	\$26,250	\$24,750	\$422,240	\$473,240		\$473,240

The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)

### Municipal Light Department

AAB Threshold Value: \$651,330

P21 Elective Improvement (Not Part of Project) <i>Buildings affected by project: Mayo Elementary School, Recreation Building, Municipal Light Department, Chaffins Sub-Station Fire Department, Dawson Elementary School, Davis Hill Elementary School, Town Hall,</i>				\$22,499	\$22,499	<b>\$10,031,000</b>
P16 Maintenance Items <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Damon House, Dawson Elementary School, Public Safety Building Annex, Municipal Light Department, Senior Center, Public Safety Building, Town Hall, Gale Free Library, Dawson Pool Complex ,</i>				\$12,718	\$12,718	<b>\$86,000</b>
P33 Masonry and Sealant Repairs (Municipal Light) <i>Buildings affected by project: Municipal Light Department,</i>	\$9,494				\$9,494	<b>\$10,000</b>
P4 MEP Improvements (Municipal Light) <i>Buildings affected by project: Municipal Light Department,</i>			\$422,249		\$422,249	<b>\$423,000</b>
P14 Noted for Information (Not Part of Project) <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Public Safety Building Annex, Eagle Lake Bath House, Dawson Pool Complex , Trout Brook Function Hall, Chaffins Sub-Station Fire Department, Town Hall, Starbard Building, Senior Center, Gale Free Library, Public Safety Building, Recreation Building, Municipal Light Department, Dawson Elementary School,</i>						<b>\$20,000</b>
P34 Roof Repair and Limited Interior Repairs (Mun. Light) <i>Buildings affected by project: Municipal Light Department,</i>	\$2,251				\$2,251	<b>\$1,000</b>



Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
P17 Water Heater Replacement (Municipal Light) <i>Buildings affected by project: Municipal Light Department,</i>	\$5,249				\$5,249	<b>\$5,000</b>
<b>Municipal Light Department Subtotal:</b>	<b>\$16,995</b>		<b>\$422,249</b>	<b>\$35,217</b>	<b>\$474,461</b>	

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## D.12 PUBLIC SAFETY BUILDING

Address:	1370 Main Street Holden, MA
Size:	24,898 SF
Built:	2009
Assessed Value:	\$5,713,800 (9/5/18)
Floors:	2
Date Visited:	August 28, 2018

The Holden Public Safety Building houses the police station and the fire department. It was built very recently—in 2009. It is two stories, served by an elevator. The garage for fire vehicles is a grade higher, and is only one floor. The exterior of the building is brick and wood clapboard with wood trim. The roof is asphalt shingle. The interior is carpeted, with ceramic tile in the bathrooms. The walls are gyp board, with suspended acoustical tile ceilings. The garage has an exposed concrete floor and no gyp board.

As of January 1, 2015, this building is assessed at \$5,713,800. 30% of the building's value is \$1,714,140.

### Assessment General Comments

Overall, the building is in good shape.

The Public Safety Building was built in 2009 and all equipment is working as intended. There have been issues with the geothermal systems, but we are told that the system is currently operating satisfactorily.

There are smoke detectors in the supply and return of air handling unit AHU-1. There appears to be a code issue with the return system. The 2009 International Mechanical Code Section 606 requires return duct mounted smoke detectors in the return from each floor in systems over 15,000 CFM. AHU-1 is a 18,800 CFM unit. The exception to the requirement is when all the spaces served by the air handler are provided with room mounted smoke detectors.

The chilled water supply piping to the air handler has a leak approximately two feet before the pipe enters the chilled water coil.

In the laundry room just off the apparatus room there is no way for make-up air to get into the space when the dryers are running. This reduces the capacity of the clothes drying process.

The equipment is in good condition and well maintained, no other work recommended at this time.

The plumbing system appears to be in good condition. The only item seems to be the lack of an expansion tank on the domestic hot water system. Otherwise no work other than regular preventative maintenance is required.

The fire protection system appears to be in great condition, is well maintained and regularly serviced. The quick response sprinklers and extended coverage sprinklers are required to be either tested or replaced after 20 years in accordance with NFPA-25. These should be scheduled to be tested in the next 10 years.

The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan						
CATEGORIZATION BY BUILDING						
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Public Safety Building						
Maintenance	\$13,500		\$3,760	\$17,260		\$17,260
Capital Repair or Modernization	\$3,800		\$11,340	\$15,140		\$15,140
Noted for Information						
Total Public Safety Building	\$17,300		\$15,100	\$32,400		\$32,400

The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
PUBLIC SAFETY BUILDING						
Interior						
Renovation (Multiple Types)		\$2,290		\$2,290		\$2,290
Interior Subtotal:		\$2,290		\$2,290		\$2,290
MEP/FP						
Electrical						
Fire Alarm						
Fire Protection				\$3,760	\$3,760	\$3,760
FYI						
HVAC		\$11,210		\$11,210		\$11,210
Lighting						
Plumbing		\$3,800		\$11,340	\$15,140	\$15,140
MEP/FP Subtotal:		\$15,010		\$15,100	\$30,110	\$30,110
Public Safety Building Subtotal:		\$17,300		\$15,100	\$32,400	\$32,400

The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
<b>Public Safety Building</b>				<b>AAB Threshold Value: \$1,714,140</b>		
P32 Limited Interior & Exterior Reno (Public Safety) <i>Buildings affected by project: Public Safety Building, Public Safety Building Annex,</i>	\$17,293				\$17,293	<b>\$201,000</b>
P2 Limited MEP Improvements (Public Safety) <i>Buildings affected by project: Public Safety Building, Public Safety Building Annex,</i>			\$11,340		\$11,340	<b>\$31,000</b>
P16 Maintenance Items <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Damon House, Dawson Elementary School, Public Safety Building Annex, Municipal Light Department, Senior Center, Public Safety Building, Town Hall, Gale Free Library, Dawson Pool Complex ,</i>				\$3,491	\$3,491	<b>\$86,000</b>
P14 Noted for Information (Not Part of Project) <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Public Safety Building Annex, Eagle Lake Bath House, Dawson Pool Complex , Trout Brook Function Hall, Chaffins Sub-Station Fire Department, Town Hall, Starbard Building, Senior Center, Gale Free Library, Public Safety Building, Recreation Building, Municipal Light Department, Dawson Elementary School,</i>						<b>\$20,000</b>
<b>Public Safety Building Subtotal:</b>	<b>\$17,293</b>		<b>\$11,340</b>	<b>\$3,491</b>	<b>\$32,124</b>	

## D.13 PUBLIC SAFETY BUILDING ANNEX

Address:	1384 Main Street Holden, MA
Size:	Unknown
Built:	2011
Assessed Value:	Unknown
Floors:	1
Date Visited:	August 28, 2018

The Public Safety Building Annex is very similar to the main public safety building. It was built very recently (in 2011). It consists of a small office space and a garage. The office space has a brick exterior and asphalt shingle roof. Its interior is carpeted, with ceramic tile in the bathrooms. The walls are gyp board, and the ceiling suspended acoustical tile. The garage space has a poured concrete floor, and no gyp board.

The assessed value of this building is unknown.

### Assessment General Comments

Overall, the building is in good shape.

The Public Safety Building Annex is used for storage and is no longer occupied. The heating system is served by a Buderus gas fired boiler in the basement boiler room. The boiler looks to be about 10 years old or less. The boiler flue connects to the existing chimney. At the clean-out of the chimney there is accumulated ash which should be removed.

There is a standby generator in the basement which includes an engine radiator. There is no exhaust means for the rejected heat to escape the building other than the overhead doors.

The main level is used for storage for vehicles otherwise unused. The existing toilet room exhaust fan is operational. The exhaust fan in the lunch room is noisy but functioning.

In general, the building is musty and lacks ventilation. We do not see any work necessary in the near future with the exception of the chimney clean out issue mentioned above.

The plumbing system is a mixture. While the piping shows no signs of deterioration, the fixtures are dated, the water heater is well past its useful life, toilet seats are broken and flush valves stick. There is also no insulation on the domestic water piping.

There is no fire protection system in this building.

The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan						
CATEGORIZATION BY BUILDING						
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Public Safety Building Annex						
Maintenance	\$5,920			\$5,920		\$5,920
Capital Repair or Modernization	\$58,830	\$136,500	\$21,000	\$216,330		\$216,330
Noted for Information						
Other						
Total Public Safety Building Annex	\$64,750	\$136,500	\$21,000	\$222,250		\$222,250



The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
PUBLIC SAFETY BUILDING ANNEX						
Envelope						
Roofing	\$7,940			\$7,940		\$7,940
Envelope Subtotal:	\$7,940			\$7,940		\$7,940
MEP/FP						
Electrical	\$3,760			\$3,760		\$3,760
Emergency Lighting	\$43,130			\$43,130		\$43,130
Fire Alarm						
HVAC	\$860			\$860		\$860
Lighting		\$136,500	\$10,500	\$147,000		\$147,000
Plumbing	\$9,060		\$10,500	\$19,560		\$19,560
MEP/FP Subtotal:	\$56,810	\$136,500	\$21,000	\$214,310		\$214,310
Public Safety Building Annex Subtotal:	\$64,750	\$136,500	\$21,000	\$222,250		\$222,250

The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
<b>Public Safety Building Annex</b>					<b>AAB Threshold Value:</b>	<b>\$0</b>
P32 Limited Interior & Exterior Reno (Public Safety) <i>Buildings affected by project: Public Safety Building, Public Safety Building Annex,</i>	\$184,618				\$184,618	<b>\$201,000</b>
P2 Limited MEP Improvements (Public Safety) <i>Buildings affected by project: Public Safety Building, Public Safety Building Annex,</i>			\$21,000		\$21,000	<b>\$31,000</b>
P16 Maintenance Items <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Damon House, Dawson Elementary School, Public Safety Building Annex, Municipal Light Department, Senior Center, Public Safety Building, Town Hall, Gale Free Library, Dawson Pool Complex ,</i>				\$975	\$975	<b>\$86,000</b>
P14 Noted for Information (Not Part of Project) <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Public Safety Building Annex, Eagle Lake Bath House, Dawson Pool Complex , Trout Brook Function Hall, Chaffins Sub-Station Fire Department, Town Hall, Starbard Building, Senior Center, Gale Free Library, Public Safety Building, Recreation Building, Municipal Light Department, Dawson Elementary School,</i>						<b>\$20,000</b>
<b>Public Safety Building Annex Subtotal:</b>	<b>\$184,618</b>		<b>\$21,000</b>	<b>\$975</b>	<b>\$206,593</b>	

## D.14 RECREATION BUILDING

Address:	1420 Main Street Holden, MA
Size:	3,769 SF
Built:	1979
Assessed Value:	\$368,200 (9/5/18)
Floors:	2
Date Visited:	August 28, 2018

The Holden Recreation Building was built in 1979, and was formerly the town's police station. It was most recently worked on in 2014. It consists of two stories—a daylight basement and the main level above. It is currently occupied by the Recreation Department and the town's IT Department. The exterior is brick with a roof of asphalt shingles and PV panels. The interior office spaces are carpeted, with painted gyp and masonry walls and suspended acoustical tile ceilings.

The upstairs area also contains several former cells, which have reinforced concrete floors and walls as well as sink/toilet units in each. The Recreation Department has begun to use these as storage space. However, it should be noted that with the sink/toilet units, this could lead to potential leaks, so it may be beneficial to cap these plumbing units.

The basement space of this building contains a large area that was the former police garage. It is currently a dance studio, with wood floors and gyp board walls. The ceiling is painted exposed concrete. There is a bathroom in the downstairs area that is not accessible, and not very efficiently laid out. In addition, it appears that when the police department vacated the premises, the downstairs was left largely as-is. The basement lacks ventilation and has a musty odor. There have been issues with mold, and an old boiler room (no longer in use) features pipes with asbestos insulation. This area is of a large square footage and could be used by the town, but would require major renovation, including abatement, first.

The building does not have an elevator. Because of the grade of the site, both the upper and lower floors can be accessed without stairs, but this does require a person to leave and re-enter the building. Currently the door between the basement and first floor is kept locked, and persons traveling between them require a key code.

As of September 5, 2018, this building is assessed at \$368,200. 30% of this building's value is \$110,460.

### Assessment General Comments

The occupied portions of the building are in fair to good shape. The unoccupied portions of the building include the former jail cells and most of the basement. The former jail cells are currently used for storage, but the plumbing fixtures have been left in place. They were difficult to reach and confirm their condition, but they should be disconnected to ensure no leaks happen especially since these areas are not visited often. Most of the basement is still the stripped-down former Police Station. If this area is to be renovated for reoccupation, a significant renovation would be required.

The boiler and heating system have been disconnected and left, likely in an effort to avoid abatement costs. In general, the building is heated with electric heaters. Solar voltaic panels on the roof supplement the electrical usage in the building. Those areas of the building with cooling utilize ductless split systems, which appear to be 5 years old. All the HVAC equipment is operational, except the old boiler system that was off. The studio ceiling-mounted fan coil unit grill and filters need to be cleaned. That is all that is recommended for the building in this arena.

The Plumbing system appears to be in various stages of disrepair. Most of the fixtures, including detention cell fixtures and all basement fixtures, appear to no longer be in use. The traps on un-used fixtures dry out, which can allow sewer gas (and possibly pests) to escape into the building. Unused water piping also creates stagnant water, which can cause health issues. We recommend removing all un-used fixtures and their associated piping. Any

fixtures that are un-used, but that are determined to be kept, should be maintained and operated on a weekly basis, including the priming of any floor drains.

The sewage ejector might be able to be removed if all the basement fixtures are to remain un-used, though the main serving the upper level may need to be re-piped to tie in with the current discharge.

Pinhole leaks found at various locations in the sanitary piping are indicative of a systemic problem. Being 50 years old, a new waste system should be considered in the next few years.

There is no fire protection system installed in this building.

The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan						
CATEGORIZATION BY BUILDING						
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>Recreation Building</b>						
Maintenance	\$5,620	\$5,230		\$10,850		\$10,850
Capital Repair or Modernization	\$23,820	\$90,070	\$33,450	\$147,340	\$134,940	\$282,280
Elective Improvement	\$22,500		\$241,800	\$264,300		\$264,300
Noted for Information						
Other						
<b>Total Recreation Building</b>	<b>\$51,940</b>	<b>\$95,300</b>	<b>\$275,250</b>	<b>\$422,490</b>	<b>\$134,940</b>	<b>\$557,430</b>

The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
RECREATION BUILDING						
Code						
Accessibility (Depends on Other Work)					\$29,250	\$29,250
Code Subtotal:					\$29,250	\$29,250
Envelope						
Finishes (Exterior)		\$1,490		\$1,490		\$1,490
Gutters and Downspouts		\$5,260		\$5,260		\$5,260
Envelope Subtotal:		\$6,750		\$6,750		\$6,750
Interior						
Finishes (Interior)		\$15,620	\$20,550	\$36,170		\$36,170
Renovation (Multiple Types)		\$4,140		\$4,140		\$4,140
Interior Subtotal:		\$4,140	\$15,620	\$20,550	\$40,310	\$40,310
MEP/FP						
Electrical		\$3,740	\$225,000	\$228,740		\$228,740
Fire Alarm		\$13,050		\$13,050		\$13,050
Fire Protection					\$103,740	\$103,740
FYI						
HVAC		\$1,500		\$1,500		\$1,500
Lighting		\$380	\$63,180	\$25,200	\$88,760	\$88,760

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Plumbing	\$29,130	\$9,750	\$4,500	\$43,380	\$1,950	\$45,330
<b>MEP/FP Subtotal:</b>	<b>\$47,800</b>	<b>\$72,930</b>	<b>\$254,700</b>	<b>\$375,430</b>	<b>\$105,690</b>	<b>\$481,120</b>
<b>Recreation Building Subtotal:</b>	<b>\$51,940</b>	<b>\$95,300</b>	<b>\$275,250</b>	<b>\$422,490</b>	<b>\$134,940</b>	<b>\$557,430</b>

The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
<b>Recreation Building</b>				<b>AAB Threshold Value: \$110,460</b>		
P20 Code Triggered Work (Recreation) <i>Buildings affected by project: Recreation Building,</i>				\$134,940	\$134,940	<b>\$135,000</b>
P21 Elective Improvement (Not Part of Project) <i>Buildings affected by project: Mayo Elementary School, Recreation Building, Municipal Light Department, Chaffins Sub-Station Fire Department, Dawson Elementary School, Davis Hill Elementary School, Town Hall,</i>				\$249,963	\$249,963	<b>\$10,031,000</b>
P22 Elective Interior Renovation (Recreation) <i>Buildings affected by project: Recreation Building,</i>				\$53,026	\$53,026	<b>\$53,000</b>
P23 Exterior and Interior Renovation (Various Buildings) <i>Buildings affected by project: Trout Brook Function Hall, Dawson Pool Complex , Eagle Lake Bath House, Recreation Building,</i>		\$25,865			\$25,865	<b>\$244,000</b>
P24 Exterior and Limited Interior Renovation (Various) <i>Buildings affected by project: Trout Brook Function Hall, Recreation Building,</i>	\$4,140				\$4,140	<b>\$223,000</b>
P15 Exterior Lighting Upgrades (Recreation) <i>Buildings affected by project: Recreation Building,</i>			\$25,200		\$25,200	<b>\$25,000</b>
P6 MEP Improvements (Various Buildings) <i>Buildings affected by project: Dawson Pool Complex , Recreation Building, Trout Brook Function Hall, Eagle Lake Bath House,</i>	\$86,512				\$86,512	<b>\$554,000</b>



Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
P14 Noted for Information (Not Part of Project) <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Public Safety Building Annex, Eagle Lake Bath House, Dawson Pool Complex , Trout Brook Function Hall, Chaffins Sub-Station Fire Department, Town Hall, Starbard Building, Senior Center, Gale Free Library, Public Safety Building, Recreation Building, Municipal Light Department, Dawson Elementary School,</i>						<b>\$20,000</b>
<b>Recreation Building Subtotal:</b>	<b>\$90,652</b>	<b>\$25,865</b>	<b>\$25,200</b>	<b>\$437,929</b>	<b>\$579,646</b>	



## D.15 SENIOR CENTER

Address: 1130 Main Street  
Holden, MA  
Size: 9,269 SF  
Built: 2001  
Assessed Value: \$1,795,300 (9/5/18)  
Floors: 1  
Date Visited: August 22, 2018

The Town of Holden's Senior Center is a fairly new building (built 2001). It is a single story, with approximately a quarter of the building consisting of one large high-use multipurpose room. The building has wood siding exterior with wood trim. The roof is mainly asphalt, but parts of it have been replaced with membrane roofing (likely as part of a repair). The interior flooring is carpet and VCT. The walls are painted gyp board. The ceiling is mainly acoustical tile with painted gyp at features.

There is also a gazebo on the property. This is made of wood, with an asphalt shingle roof. It does have electricity.

As of September 5, 2018, this building's value is assessed at \$1,795,300. 30% of the building's value is \$538,590.

### Assessment General Comments

Overall, the building is in good shape. The exterior needs work, especially where ice damming caused interior water damage.

The Senior Center is heated and cooled with six gas-fired warm air furnaces connected to six duct mounted cooling coils, which are connected to matching remote air-cooled condensing units. The warm air furnaces, cooling coils and condensing units were installed in 2000. All are operating satisfactorily and appear to be in good condition. The expected useful life of the warm air furnaces and remote air-cooled condensing units is roughly 20 years. The maintenance of the equipment appears to be good and the expected useful life may be longer. We do suggest carbon monoxide tests during routine maintenance to be sure there are no cracks in the warm air furnace gas-fired heat exchangers.

The roof mounted kitchen hood exhaust fan sounds as if it is out of balance. The cause should be evaluated and corrected.

There are odors in the toilet rooms. The toilet exhaust fan does not appear to be running. The fan should be running when the building is occupied.

Three to five warm air furnace flues look to be rusting. The rusted sections need to be replaced to ensure proper venting of the furnaces.

The senior center's fire protection systems are in very good condition, well maintained and serviced regularly. However, the sprinklers, installed in 2000, are approaching 20 years old. The quick response heads (all heads serving the main floor) are required to be tested or replaced in accordance with NFPA-25 at the 20-year mark.

The plumbing systems are also in good condition overall, though there are a few issues that require attention. First, the wheelchair lavatories in the men's and women's rooms are pulling away from the wall. The sinks need to be re-supported, preferably with a more robust support system, which may require opening the wall. Second, the domestic water heater is original to the building and is now 18 years old. Though it seems to be working well, the unit is at the end of its useful life and should be scheduled for replacement. The recirc pump and mixing valve should follow suit. An expansion tank must also be installed.

The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan					
CATEGORIZATION BY BUILDING					
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal	
<b>Senior Center</b>					
Maintenance	\$25,300	\$38,520		\$63,820	\$63,820
Capital Repair or Modernization	\$43,660	\$365,460		\$409,120	\$36,280
Noted for Information					
<b>Total Senior Center</b>	<b>\$68,960</b>	<b>\$403,980</b>		<b>\$472,940</b>	<b>\$36,280</b>
					<b>\$509,220</b>

The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total <i>(Subtotal and Code Triggered Cost)</i>
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
SENIOR CENTER						
Envelope						
Finishes (Exterior)	\$3,000	\$38,520		\$41,520		\$41,520
Renovation (Multiple Types)	\$1,550			\$1,550		\$1,550
Roofing	\$21,560			\$21,560		\$21,560
Envelope Subtotal:	\$26,110	\$38,520		\$64,630		\$64,630
Interior						
Renovation (Multiple Types)	\$3,100			\$3,100		\$3,100
Interior Subtotal:	\$3,100			\$3,100		\$3,100
MEP/FP						
Code (Depends on Other Work)						
Electrical						
Emergency Lighting					\$36,280	\$36,280
Fire Alarm		\$90,680		\$90,680		\$90,680
Fire Protection						
FYI						
HVAC	\$24,750	\$52,650		\$77,400		\$77,400
Lighting		\$217,630		\$217,630		\$217,630
Plumbing	\$7,500	\$4,500		\$12,000		\$12,000

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>MEP/FP Subtotal:</b>	<b>\$32,250</b>	<b>\$365,460</b>		<b>\$397,710</b>	<b>\$36,280</b>	<b>\$433,990</b>
<b>Site</b>						
Site	\$7,500			\$7,500		\$7,500
<b>Site Subtotal:</b>	<b>\$7,500</b>			<b>\$7,500</b>		<b>\$7,500</b>
<b>Senior Center Subtotal:</b>	<b>\$68,960</b>	<b>\$403,980</b>		<b>\$472,940</b>	<b>\$36,280</b>	<b>\$509,220</b>

The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
<b>Senior Center</b>					<b>AAB Threshold Value: \$538,590</b>	
P27 Exterior Renovation (Senior Center) <i>Buildings affected by project: Senior Center,</i>		\$50,384			\$50,384	<b>\$51,000</b>
P16 Maintenance Items <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Damon House, Dawson Elementary School, Public Safety Building Annex, Municipal Light Department, Senior Center, Public Safety Building, Town Hall, Gale Free Library, Dawson Pool Complex ,</i>						<b>\$86,000</b>
P9 MEP/FP Improvements (Senior Center) <i>Buildings affected by project: Senior Center,</i>		\$387,618			\$387,618	<b>\$389,000</b>
P14 Noted for Information (Not Part of Project) <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Public Safety Building Annex, Eagle Lake Bath House, Dawson Pool Complex , Trout Brook Function Hall, Chaffins Sub-Station Fire Department, Town Hall, Starbard Building, Senior Center, Gale Free Library, Public Safety Building, Recreation Building, Municipal Light Department, Dawson Elementary School,</i>						<b>\$20,000</b>
P35 Roof Repair and Limited Interior Repairs (Senior) <i>Buildings affected by project: Senior Center,</i>		\$26,206			\$26,206	<b>\$26,000</b>
<b>Senior Center Subtotal:</b>		<b>\$413,824</b>	<b>\$50,384</b>		<b>\$464,208</b>	

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**D.16 STARBARD BUILDING**

Address:	1204 Main Street Holden, MA
Size:	5,627 SF
Built:	1797/1850
Assessed Value:	\$1,038,600 (9/5/18)
Floors:	5 (3 + Attic + Basement)
Date Visited:	August 22, 2018

This former residence and later site of the Holden Trowel Club is now part of the Town of Holden's Historic District. Though built in 1797, the building has clearly been altered many times over the years, including multiple additions and removals onto the back. Some sections of the original structure appear to have been removed including but not limited to) CMU walls in the basement where former columns likely stood. The building has three occupied floors as well as a basement and an attic. An elevator was installed in a former addition, and serves all spaces of the building open to the public (not the attic or the basement).

In the front section of the building, the exterior is painted brick. The additions are painted wood siding. The back of the building is painted CMU. This is highly atypical of a building of this age, and suggests that a portion of the original building has been removed or severely altered. The roof is asphalt shingle, and features a cupola. This cupola is not original to the building. There are

shutters on the façade of the building, though they are not true shutters.

The foundation of the building is stone, as is typical of the period. In the basement, CMU walls have been placed under the walls above for support, likely in order to replace the original wooden columns. The interior of the building is carpeted, with walls both of painted gyp and wallpaper. The ceilings are painted plaster. Overall, it is clear that efforts have been made to maintain historical features of the building (fireplaces, stair rails, etc), but some upgrades and adjustments have been necessary to use the building resulting in 'newer' areas.

As of September 5, 2018, this building is assessed at \$1,038,600. 30% of the building's value is \$311,580.

**Assessment General Comments**

Overall, the building is in fair condition. While there are several issues with finishes and building systems, of greatest concern is the structural system. See below for more information.

The Starbard Building HVAC systems in general, are in good condition. The steam boiler is the atmospheric type. The system was converted to gas in 2013. The oil tank in the basement is abandoned. The oil tank should be removed in accordance with The Massachusetts State Fire Code 527 CMR section 9.07.

There are some communication wires running over and resting on the boiler vent connector. There is a small section of insulation between the wiring and the vent connector. We suggest using wire ties to gather together and raise the wiring above the vent connector.

The air conditioning for the building includes three split systems ducted units. The units look to be roughly five years old, well maintained and functioning satisfactorily. The IT Room has a window air conditioning unit to supplement the ducted air conditioning system.

None of the bathrooms are vented properly. All three bathrooms should be provided with new exhaust fans and should all be properly vented to the exterior.

The plumbing system in the Starbard building is in fairly rough shape. The water heater is corroded and has reached the end of its useful life. The incoming water pressure is in excess of what is allowed by the plumbing code. It should be a simple fix to adjust the pressure reducing valve. The sump pump at the boiler room tub sink is seized and should be replaced. A drum trap is recommended to collect any debris before the pump.

There is no fire protection system in the Starbard building.

One item of particular concern is the building's structural integrity. A preliminary structural observation report by Ipswich River Engineering, Inc. is included in the appendix. The following is a summary of the items of most concern:

1. The roof's structural elements have been stressed beyond their capacity and major horizontal shear cracks are present in various beams. The following is an excerpt from the report:

*It is IREI's professional opinion that if the Town of Holden wants to maintain occupancy of the Starbard Building during the winter months then they should retain a reputable temporary shoring and bracing contractor to engineer, design, specify and install a temporary shoring system to temporarily support all cracked and structurally damaged roof framing members to prevent a complete structural failure and collapse of the roof framing system. This temporary shoring system should remain in place until such time that the structural repair and or complete replacement of this roof framing system can be determined, engineered, designed and structural drawings prepared for the bidding and the work completed on the project. Typically, shoring contractors either have a registered professional structural engineer on staff or they work with one who is familiar with the contractors' shoring techniques, members, systems and designs and will provide the Town of Holden with a design ~ building temporary shoring system.*

2. The first-floor framing is not visible; however, there is evidence that it may be compromised. For example, on the first-floor ceiling, the plaster has a crack along the location of a beam. Further investigation is needed, which will require the structure be exposed to view.
3. The CMU walls built in the basement run up to the wood structure above. Although not present yet, this can cause rot and decay of the wood beams and joists since they are not preservative treated.
4. One of the stone foundation corner pieces has rotated and is out of plumb. This should be watched by the Town.

Refer to the enclosed report for additional information.



The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan						
CATEGORIZATION BY BUILDING						
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>Starbard Building</b>						
Maintenance	\$10,230		\$6,750	\$16,980	\$2,930	\$19,910
Capital Repair or Modernization	\$416,120	\$271,250	\$90,640	\$778,010	\$257,100	\$1,035,110
Noted for Information						
Other						
<b>Total Starbard Building</b>	<b>\$426,350</b>	<b>\$271,250</b>	<b>\$97,390</b>	<b>\$794,990</b>	<b>\$260,030</b>	<b>\$1,055,020</b>

The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
STARBARD BUILDING						
Code						
Accessibility (Depends on Other Work)					\$117,300	\$117,300
Code Subtotal:					\$117,300	\$117,300
Envelope						
Masonry		\$3,760		\$3,760		\$3,760
Site		\$7,500		\$7,500		\$7,500
Windows		\$194,060		\$194,060		\$194,060
Envelope Subtotal:		\$205,320		\$205,320		\$205,320
Interior						
Finishes (Interior)		\$63,230	\$117,000	\$180,230		\$180,230
Interior Subtotal:		\$63,230	\$117,000	\$180,230		\$180,230
MEP/FP						
Code (Depends on Other Work)		\$7,500		\$22,540	\$30,040	\$30,040
Electrical		\$117,250		\$117,250		\$117,250
Elevator						
Emergency Lighting					\$54,890	\$54,890
Fire Alarm					\$87,840	\$87,840
HVAC		\$18,290		\$48,830	\$67,120	\$67,120

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Lighting		\$154,250	\$9,450	\$163,700		\$163,700
Plumbing	\$14,760		\$16,570	\$31,330		\$31,330
<b>MEP/FP Subtotal:</b>	<b>\$157,800</b>	<b>\$154,250</b>	<b>\$97,390</b>	<b>\$409,440</b>	<b>\$142,730</b>	<b>\$552,170</b>
<b>Structural</b>						
Structural						
<b>Structural Subtotal:</b>						
<b>Starbard Building Subtotal:</b>	<b>\$426,350</b>	<b>\$271,250</b>	<b>\$97,390</b>	<b>\$794,990</b>	<b>\$260,030</b>	<b>\$1,055,020</b>

The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
<b>Starbard Building</b>					<b>AAB Threshold Value: \$311,580</b>	
P30 Interior and Exterior Renovation (Starbard) <i>Buildings affected by project: Starbard Building,</i>	\$915,596				\$915,596	<b>\$916,000</b>
P5 MEP Improvements (Starbard) <i>Buildings affected by project: Starbard Building,</i>			\$68,093		\$68,093	<b>\$68,000</b>
P14 Noted for Information (Not Part of Project) <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Public Safety Building Annex, Eagle Lake Bath House, Dawson Pool Complex, Trout Brook Function Hall, Chaffins Sub-Station Fire Department, Town Hall, Starbard Building, Senior Center, Gale Free Library, Public Safety Building, Recreation Building, Municipal Light Department, Dawson Elementary School,</i>						<b>\$20,000</b>
P37 Structural Repairs (Starbard) <i>Buildings affected by project: Starbard Building,</i>	\$4,744				\$4,744	<b>\$5,000</b>
<b>Starbard Building Subtotal:</b>	<b>\$920,339</b>		<b>\$68,093</b>		<b>\$988,432</b>	

## D.17 TOWN HALL

Address:	1196 Main Street Holden, MA
Size:	7,020 SF
Built/Renovations:	1900
Assessed Value:	\$926,100 (9/5/18)
Floors:	3.5 (2 + Basement + Balcony)
Date Visited:	August 22, 2018

The Holden Town Hall was built in 1900 and the most recent project on it occurred in 2014. It is two floors, with a short basement and a balcony. The exterior of the building features a Greek Revival façade with four large wooden columns. The exterior is wood siding with wood trim. The front porch is brick pavers, and the foundation of the building is granite. The roof is asphalt shingle. The front windows are the original single-pane windows that have been restored. Windows on the rest of the building have been replaced with double-pane windows.

The interior of the Town Hall is largely office spaces. The floors are carpeted, with ceramic tile in the bathrooms. The walls are mainly painted gyp board, with some painted plaster walls original to the building. There is a large assembly/meeting room upstairs with a small stage. The balcony looks out over this space. There is a stage in this meeting room that is not accessible, and there is no handicapped access to the balcony (currently used for storage). There is an elevator serving both open floors of the Town Hall housed in an addition that was made to the Town Hall. The floor

of the basement is dirt, which has been causing issues by allowing moisture into the building.

As of September 5, 2018, this building is assessed at \$926,100. 30% of the building's value is \$277,830.

### Assessment General Comments

Overall, the building is in fair condition, and requires a renovation, which might be able to be done in separate projects.

The Town Hall heating systems consists of a peerless steam boiler and a steam distribution system with cast iron radiators controlled with non-electric zone control valves and boiler feed tank/pump unit. The boiler is roughly 36 years old and has extensive rusting on the outer casing of the boiler. The boiler was converted to gas in 2014. The boiler room is depressed below the Basement dirt floor and has ground water issues. The boiler is past its useful life and should be replaced within the next 1 to 3 years. The Boiler Room has a sump pump which is used to pump out the ground water. We suggest installing a second sump pump and control system to start the standby pump in the event of a failure of the duty pump. Duty cycling of the sump pumps would also be desirable.

We recommend a steam trap maintenance program be initiated to maintain condensate system operational effectiveness. Vendors of steam traps often have steam trap maintenance offerings.

The existing steam and condensate piping is uninsulated and should be insulated to minimize heat loss. An opportune time to insulate the piping would be when the boiler is replaced.

The oil tank in the basement is abandoned. The oil tank should be removed in accordance with The Massachusetts State Fire Code 527 CMR section 9.07.

Air conditioning for selected spaces in the building is done using window air conditioning units and one portable air conditioner.

Each bathroom has a small exhaust fan that vents through the exterior wall. The exhaust fan in the men's room is loud and at the end of its useful life span.

The domestic water service is provided with a recently installed (2014) pressure tank. This was likely installed to allow the undersized water supply to handle the demand of the toilet flush valves. When and if the dated fixtures are replaced, tank type toilets should be used and the pressure tank can be eliminated. The men's room lavatory is cracked and should be replaced soon.

The 50-gallon 3.8 KW electric water heater was installed around 2000-2002 and is well past its useful life span. The installation is also missing an expansion tank, heat loop, and is over sized to feed two lavatories and a kitchenette. A new, properly sized water heater should be installed.

There is no fire protection system in the Town Hall building.

One important item to note:

1. As stated above, the boiler has issues and is nearing it's end of life. Consequently, it should be replaced. Although it could be replaced in kind, there are more energy efficient options available. However, more energy efficient options would likely require replacement of other elements in the building such as the radiators and the boiler piping. This, in turn, would also likely cause additional work such as needing to paint behind removed radiators and repairs at walls, ceilings, and floors where old piping leaves holes. Depending on the total construction cost, other items such as accessibility and sprinklers may be triggered. As a result, a much larger and costlier project would occur. That is not to say that this is undesirable; however, it will require review. The cost included in this report does not account for this larger project.

The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan						
CATEGORIZATION BY BUILDING						
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>Town Hall</b>						
Maintenance	\$7,490	\$11,260	\$36,810	\$55,560		\$55,560
Capital Repair or Modernization	\$101,920	\$667,820	\$206,460	\$976,200	\$479,810	\$1,456,010
Elective Improvement						
Noted for Information						
Other					\$9,750	\$9,750
<b>Total Town Hall</b>	<b>\$109,410</b>	<b>\$679,080</b>	<b>\$243,270</b>	<b>\$1,031,760</b>	<b>\$489,560</b>	<b>\$1,521,320</b>

The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
TOWN HALL						
Code						
Accessibility (Depends on Other Work)					\$409,500	\$409,500
Code (Depends on Other Work)						
Code Subtotal:					\$409,500	\$409,500
Elevator						
Elevator			\$22,500	\$22,500		\$22,500
Elevator Subtotal:			\$22,500	\$22,500		\$22,500
Envelope						
Accessibility (Depends on Other Work)						
Doors		\$8,990		\$8,990		\$8,990
Finishes (Exterior)			\$313,400	\$313,400		\$313,400
HVAC		\$3,740		\$3,740		\$3,740
Insulation		\$11,250		\$11,250		\$11,250
Masonry			\$11,230	\$11,230		\$11,230
Renovation (Multiple Types)						
Roofing			\$22,630	\$22,630		\$22,630
Site			\$3,750	\$3,750		\$3,750
Windows						



Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>Envelope Subtotal:</b>	<b>\$23,980</b>	<b>\$347,260</b>	<b>\$3,750</b>	<b>\$374,990</b>		<b>\$374,990</b>
<b>Interior</b>						
Code (Depends on Other Work)					\$9,750	\$9,750
Doors	\$2,250			\$2,250		\$2,250
Finishes (Interior)		\$186,350	\$10,570	\$196,920		\$196,920
FYI						
Renovation (Multiple Types)	\$2,940	\$5,260		\$8,200		\$8,200
<b>Interior Subtotal:</b>	<b>\$5,190</b>	<b>\$191,610</b>	<b>\$10,570</b>	<b>\$207,370</b>	<b>\$9,750</b>	<b>\$217,120</b>
<b>MEP/FP</b>						
Code (Depends on Other Work)					\$29,250	\$29,250
Electrical			\$2,240	\$2,240		\$2,240
Emergency Lighting						
Finishes (Interior)		\$11,700		\$11,700		\$11,700
Fire Alarm					\$41,060	\$41,060
FYI						
HVAC	\$69,740	\$4,500		\$74,240		\$74,240
Lighting	\$750	\$81,900	\$176,910	\$259,560		\$259,560
Plumbing	\$2,250	\$22,610	\$27,300	\$52,160		\$52,160
Renovation (Multiple Types)	\$7,500			\$7,500		\$7,500



Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>MEP/FP Subtotal:</b>	<b>\$80,240</b>	<b>\$120,710</b>	<b>\$206,450</b>	<b>\$407,400</b>	<b>\$70,310</b>	<b>\$477,710</b>
<b>Structural</b>						
Structural		\$19,500		\$19,500		\$19,500
<b>Structural Subtotal:</b>		<b>\$19,500</b>		<b>\$19,500</b>		<b>\$19,500</b>
<b>Town Hall Subtotal:</b>	<b>\$109,410</b>	<b>\$679,080</b>	<b>\$243,270</b>	<b>\$1,031,760</b>	<b>\$489,560</b>	<b>\$1,521,320</b>

The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
<b>Town Hall</b>				<b>AAB Threshold Value: \$277,830</b>		
P18 Basement Water Corrections (Town Hall) <i>Buildings affected by project: Town Hall,</i>	\$86,250				\$86,250	<b>\$86,000</b>
P21 Elective Improvement (Not Part of Project) <i>Buildings affected by project: Mayo Elementary School, Recreation Building, Municipal Light Department, Chaffins Sub-Station Fire Department, Dawson Elementary School, Davis Hill Elementary School, Town Hall,</i>						<b>\$10,031,000</b>
P31 Interior and Exterior Renovation (Town Hall) <i>Buildings affected by project: Town Hall,</i>		\$1,483,344			\$1,483,344	<b>\$1,484,000</b>
P16 Maintenance Items <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Damon House, Dawson Elementary School, Public Safety Building Annex, Municipal Light Department, Senior Center, Public Safety Building, Town Hall, Gale Free Library, Dawson Pool Complex ,</i>				\$9,750	\$9,750	<b>\$86,000</b>
P14 Noted for Information (Not Part of Project) <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Public Safety Building Annex, Eagle Lake Bath House, Dawson Pool Complex , Trout Brook Function Hall, Chaffins Sub-Station Fire Department, Town Hall, Starbard Building, Senior Center, Gale Free Library, Public Safety Building, Recreation Building, Municipal Light Department, Dawson Elementary School,</i>						<b>\$20,000</b>
<b>Town Hall Subtotal:</b>	<b>\$86,250</b>	<b>\$1,483,344</b>		<b>\$9,750</b>	<b>\$1,579,344</b>	

## D.18 TROUT BROOK FUNCTION HALL

Address:	320 Manning Street Holden, MA
Size:	1,599 SF
Built:	1970
Assessed Value:	\$135,900 (9/5/18)
Floors:	1
Date Visited:	August 28, 2018

The Trout Brook Function Hall consists of two structures built in 1970. The Pavilion Building is an open-air structure on a concrete floor. It has a gabled roof with asphalt shingles, and is entirely open except for one side, which features a few small storage rooms. These have wood siding exteriors and exposed interiors. All columns and rafters are wood.

The other building is a single-story structure with several A-frame partitions. It has a concrete foundation and wood siding. The roof is mainly flat membrane roofing, with metal roofing over the A-frame partitions. The interior is cabin-like, with wood floors and walls. There is a fireplace in the building as well.

As of September 5, 2018, this building was assessed at \$135,900. 30% of the building's value is \$40,770.

### Assessment General Comments

Overall, the building is in fair condition.

The Trout Brook Function Hall is heated by an oil-fired warm air furnace located in the Mechanical Room. The furnace was installed in 1997 or 1998 which make the unit 20 years old. The furnace has reached its expected useful life and should be replaced within the next five years. We recommend checking for carbon monoxide in the supply air flow during normal service. The building has occupants sleep over on occasion. There needs to be carbon monoxide sensors in the building to alert occupants to the presence of carbon monoxide.

The Plumbing system appears to be in very good condition. The electric water heater was installed in 2005, is past its useful lifespan, and should be replaced in the next few years.

There is no fire protection system installed in this building

The chart below shows the work categorization types at the building.

Capital Improvement and Maintenance Plan						
CATEGORIZATION BY BUILDING						
Building Name	Total Project Cost				Code Triggered Cost (Escalated to Yr 6)	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>Trout Brook Function Hall</b>						
Maintenance	\$11,640	\$8,780		\$20,420	\$1,350	\$21,770
Capital Repair or Modernization	\$136,920	\$65,520	\$30,240	\$232,680	\$110,660	\$343,340
Noted for Information						
<b>Total Trout Brook Function Hall</b>	<b>\$148,560</b>	<b>\$74,300</b>	<b>\$30,240</b>	<b>\$253,100</b>	<b>\$112,010</b>	<b>\$365,110</b>

The chart below shows the work types and estimates for this building.

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
TROUT BROOK FUNCTION HALL						
Code						
Accessibility (Depends on Other Work)					\$110,660	\$110,660
Code Subtotal:					\$110,660	\$110,660
Envelope						
Accessibility (Depends on Other Work)					\$1,350	\$1,350
Finishes (Exterior)		\$16,560		\$16,560		\$16,560
Roofing		\$102,470		\$102,470		\$102,470
Windows			\$8,780	\$8,780		\$8,780
Envelope Subtotal:		\$119,030	\$8,780	\$127,810	\$1,350	\$129,160
Interior						
Finishes (Interior)			\$30,240	\$30,240		\$30,240
Interior Subtotal:			\$30,240	\$30,240		\$30,240
MEP/FP						
Emergency Lighting			\$15,600	\$15,600		\$15,600
Fire Alarm						
FYI						
HVAC		\$13,230		\$13,230		\$13,230
Lighting		\$8,800	\$49,920	\$58,720		\$58,720

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH WORK TYPE)						
System Category and Work Type	Total Project Cost				Cost if Triggered by Code	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Plumbing	\$7,500			\$7,500		\$7,500
<b>MEP/FP Subtotal:</b>	<b>\$29,530</b>	<b>\$65,520</b>		<b>\$95,050</b>		<b>\$95,050</b>
<b>Trout Brook Function Hall Subtotal:</b>	<b>\$148,560</b>	<b>\$74,300</b>	<b>\$30,240</b>	<b>\$253,100</b>	<b>\$112,010</b>	<b>\$365,110</b>

The following shows recommended projects to be performed at this building. As a note: the escalation was adjusted based on the proposed time period for the project. Therefore, the cost may not equal the amount shown in the charts listing issues and their recommended time period.

Capital Improvement and Maintenance Plan						
PROJECT LIST BY BUILDING						
Project List and Buildings	Years 1 to 3 Estimate	Years 4 to 7 Estimate	Years 8 to 10 Estimate	Code Req'd or Elected Work (Escalated to Yr 6)	Total (This Building Only)	Total Project Cost (All Affected Buildings)
<b>Trout Brook Function Hall</b>					<b>AAB Threshold Value:</b>	<b>\$40,770</b>
P23 Exterior and Interior Renovation (Various Buildings) <i>Buildings affected by project: Trout Brook Function Hall, Dawson Pool Complex, Eagle Lake Bath House, Recreation Building,</i>		\$36,855			\$36,855	<b>\$244,000</b>
P24 Exterior and Limited Interior Renovation (Various) <i>Buildings affected by project: Trout Brook Function Hall, Recreation Building,</i>	\$218,109				\$218,109	<b>\$223,000</b>
P6 MEP Improvements (Various Buildings) <i>Buildings affected by project: Dawson Pool Complex, Recreation Building, Trout Brook Function Hall, Eagle Lake Bath House,</i>	\$87,499				\$87,499	<b>\$554,000</b>
P14 Noted for Information (Not Part of Project) <i>Buildings affected by project: Davis Hill Elementary School, Mayo Elementary School, Public Safety Building Annex, Eagle Lake Bath House, Dawson Pool Complex, Trout Brook Function Hall, Chaffins Sub-Station Fire Department, Town Hall, Starbark Building, Senior Center, Gale Free Library, Public Safety Building, Recreation Building, Municipal Light Department, Dawson Elementary School,</i>						<b>\$20,000</b>
<b>Trout Brook Function Hall Subtotal:</b>	<b>\$305,608</b>	<b>\$36,855</b>			<b>\$342,463</b>	

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## **E. ANTICIPATED PROJECTS**

In addition to identifying individual items at each of the buildings, Gienapp Design also identified projects into which work could be combined. This list is based on urgency of the items, grouping of similar items in order to take advantage of the presence of a trade contractor on site, and other similar factors. Also, Code-required items were grouped in with projects that would trigger them.

This list is by no means the only way to complete this work. It is simply meant to be a recommendation of one way in which the work can be done.

The list of projects and their affected buildings are located on the next page. For clarity: each project has a list of the affected buildings; therefore, some issue at those buildings has been identified as being part of the suggested project. For a list of each issue, refer to the appendices.

Note: some issues identified during the assessment are for information purposes only, and consequently, were assigned a “Noted for Information” project so as not to negatively impact the cost and logistical implications of the suggested anticipated projects.

Capital Improvement and Maintenance Plan						
PROJECT LIST WITH BUILDING BREAKDOWN						
Project Type, Project Name, and Buildings	Total Project Cost				Code Req'd or Elected Work <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b><u>ACCESSIBILITY (DEPENDS ON OTHER WORK)</u></b>						
<b>P1 Accessibility Upgrades (Damon House)</b>						
Damon House	\$223,043			\$223,043		\$223,043
<b>Subtotal:</b>	<b>\$223,043</b>			<b>\$223,043</b>		<b>\$223,043</b>
<b><u>BUILDING SYSTEMS</u></b>						
<b>P2 Limited MEP Improvements (Public Safety)</b>						
Public Safety Building			\$11,340	\$11,340		\$11,340
Public Safety Building Annex			\$21,000	\$21,000		\$21,000
<b>Subtotal:</b>			<b>\$32,340</b>	<b>\$32,340</b>		<b>\$32,340</b>
<b>P3 MEP Improvements (Historic)</b>						
Damon House	\$196,133			\$196,133		\$196,133
Hendricks House	\$162,172			\$162,172		\$162,172
Hendricks House Barn	\$21,756			\$21,756		\$21,756
<b>Subtotal:</b>	<b>\$380,060</b>			<b>\$380,060</b>		<b>\$380,060</b>
<b>P4 MEP Improvements (Municipal Light)</b>						
Municipal Light Department			\$422,249	\$422,249		\$422,249
<b>Subtotal:</b>			<b>\$422,249</b>	<b>\$422,249</b>		<b>\$422,249</b>
<b>P5 MEP Improvements (Starbard)</b>						
Starbard Building			\$68,093	\$68,093		\$68,093

Capital Improvement and Maintenance Plan						
PROJECT LIST WITH BUILDING BREAKDOWN						
Project Type, Project Name, and Buildings	Total Project Cost				Code Req'd or Elected Work <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Subtotal:			\$68,093	\$68,093		\$68,093
P6 MEP Improvements (Various Buildings)						
Dawson Pool Complex	\$223,112			\$223,112		\$223,112
Eagle Lake Bath House	\$157,446			\$157,446		\$157,446
Recreation Building	\$86,512			\$86,512		\$86,512
Trout Brook Function Hall	\$87,499			\$87,499		\$87,499
Subtotal:	\$554,569			\$554,569		\$554,569
P7 MEP/FP Improvements (School) - Year 1 to 3						
Davis Hill Elementary School	\$219,722			\$219,722		\$219,722
Dawson Elementary School	\$864,898			\$864,898		\$864,898
Mayo Elementary School	\$873,421			\$873,421		\$873,421
Subtotal:	\$1,958,041			\$1,958,041		\$1,958,041
P8 MEP/FP Improvements (School) - Year 8 to 10						
Davis Hill Elementary School			\$1,128,215	\$1,128,215		\$1,128,215
Dawson Elementary School			\$364,214	\$364,214		\$364,214
Mayo Elementary School			\$118,199	\$118,199		\$118,199
Subtotal:			\$1,610,627	\$1,610,627		\$1,610,627
P9 MEP/FP Improvements (Senior Center)						
Senior Center	\$387,618			\$387,618		\$387,618
Subtotal:	\$387,618			\$387,618		\$387,618

Capital Improvement and Maintenance Plan					
PROJECT LIST WITH BUILDING BREAKDOWN					
Project Type, Project Name, and Buildings	Total Project Cost				Code Req'd or Elected Work (Escalated to Yr 6)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal	
<b><u>FINISHES (EXTERIOR)</u></b>					
<b>P10 Exterior Finishes Upgrades (Historic)</b>					
Damon House		\$247,406		\$247,406	\$247,406
Hendricks House Barn		\$20,719		\$20,719	\$20,719
<b>Subtotal:</b>		<b>\$268,125</b>		<b>\$268,125</b>	<b>\$268,125</b>
<b><u>FINISHES (INTERIOR)</u></b>					
<b>P11 Interior Finish Improvements (Gale Library)</b>					
Gale Free Library			\$430,920	\$430,920	\$430,920
<b>Subtotal:</b>			<b>\$430,920</b>	<b>\$430,920</b>	<b>\$430,920</b>
<b>P12 Interior Finish Improvements (Schools)</b>					
Davis Hill Elementary School		\$1,489,469		\$1,489,469	\$1,489,469
Dawson Elementary School		\$1,430,033		\$1,430,033	\$1,430,033
Mayo Elementary School		\$816,609		\$816,609	\$816,609
<b>Subtotal:</b>		<b>\$3,736,110</b>		<b>\$3,736,110</b>	<b>\$3,736,110</b>
<b>P13 Interior Finishes Upgrades (Historic)</b>					
Damon House		\$76,440		\$76,440	\$76,440
Hendricks House		\$22,523		\$22,523	\$22,523
Hendricks House Barn		\$1,024		\$1,024	\$1,024
<b>Subtotal:</b>		<b>\$99,986</b>		<b>\$99,986</b>	<b>\$99,986</b>

Capital Improvement and Maintenance Plan						
PROJECT LIST WITH BUILDING BREAKDOWN						
Project Type, Project Name, and Buildings	Total Project Cost				Code Req'd or Elected Work (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b><u>FYI</u></b>						
<b>P14 Noted for Information (Not Part of Project)</b>						
Chaffins Sub-Station Fire Department						
Davis Hill Elementary School						
Dawson Elementary School						
Dawson Pool Complex						
Eagle Lake Bath House					\$19,500	\$19,500
Gale Free Library						
Mayo Elementary School						
Municipal Light Department						
Public Safety Building						
Public Safety Building Annex						
Recreation Building						
Senior Center						
Starbard Building						
Town Hall						
Trout Brook Function Hall						
<b>Subtotal:</b>					<b>\$19,500</b>	<b>\$19,500</b>
<b>LIGHTING</b>						

Capital Improvement and Maintenance Plan					
PROJECT LIST WITH BUILDING BREAKDOWN					
Project Type, Project Name, and Buildings	Total Project Cost				Code Req'd or Elected Work (Escalated to Yr 6)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal	
<b>P15 Exterior Lighting Upgrades (Recreation)</b>					
Recreation Building			\$25,200	\$25,200	\$25,200
<b>Subtotal:</b>			<b>\$25,200</b>	<b>\$25,200</b>	<b>\$25,200</b>
<b><u>MAINTENANCE</u></b>					
<b>P16 Maintenance Items</b>					
Damon House					\$46,800
Davis Hill Elementary School					\$1,170
Dawson Elementary School					\$2,194
Dawson Pool Complex					\$1,170
Gale Free Library					\$3,713
Mayo Elementary School					\$4,269
Municipal Light Department					\$12,718
Public Safety Building					\$3,491
Public Safety Building Annex					\$975
Senior Center					
Town Hall					\$9,750
<b>Subtotal:</b>					<b>\$86,249</b>
<b><u>PLUMBING</u></b>					
<b>P17 Water Heater Replacement (Municipal Light)</b>					

Capital Improvement and Maintenance Plan						
PROJECT LIST WITH BUILDING BREAKDOWN						
Project Type, Project Name, and Buildings	Total Project Cost				Code Req'd or Elected Work <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Municipal Light Department	\$5,249			\$5,249		\$5,249
Subtotal:	\$5,249			\$5,249		\$5,249
RENOVATION (MULTIPLE TYPES)						
P18 Basement Water Corrections (Town Hall)						
Town Hall	\$86,250			\$86,250		\$86,250
Subtotal:	\$86,250			\$86,250		\$86,250
P19 Bathroom Floor Drainage Project (School)						
Davis Hill Elementary School	\$3,450			\$3,450		\$3,450
Subtotal:	\$3,450			\$3,450		\$3,450
P20 Code Triggered Work (Recreation)						
Recreation Building					\$134,940	\$134,940
Subtotal:					\$134,940	\$134,940
P21 Elective Improvement (Not Part of Project)						
Chaffins Sub-Station Fire Department					\$9,243,585	\$9,243,585
Davis Hill Elementary School					\$1,706	\$1,706
Dawson Elementary School					\$1,697	\$1,697
Mayo Elementary School					\$510,647	\$510,647
Municipal Light Department					\$22,499	\$22,499
Recreation Building					\$249,963	\$249,963



Capital Improvement and Maintenance Plan						
PROJECT LIST WITH BUILDING BREAKDOWN						
Project Type, Project Name, and Buildings	Total Project Cost				Code Req'd or Elected Work <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Town Hall						
Subtotal:					\$10,030,096	\$10,030,096
P22 Elective Interior Renovation (Recreation)						
Recreation Building					\$53,026	\$53,026
Subtotal:					\$53,026	\$53,026
P23 Exterior and Interior Renovation (Various Buildings)						
Dawson Pool Complex		\$171,600		\$171,600		\$171,600
Eagle Lake Bath House		\$9,360		\$9,360		\$9,360
Recreation Building		\$25,865		\$25,865		\$25,865
Trout Brook Function Hall		\$36,855		\$36,855		\$36,855
Subtotal:		\$243,680		\$243,680		\$243,680
P24 Exterior and Limited Interior Renovation (Various)						
Recreation Building	\$4,140			\$4,140		\$4,140
Trout Brook Function Hall	\$218,109			\$218,109		\$218,109
Subtotal:	\$222,249			\$222,249		\$222,249
P25 Exterior and Minor Interior Renovation (Gale Library)						
Gale Free Library	\$295,422			\$295,422		\$295,422
Subtotal:	\$295,422			\$295,422		\$295,422
P26 Exterior Renovation (Schools)						
Davis Hill Elementary School	\$111,763			\$111,763		\$111,763



Capital Improvement and Maintenance Plan						
PROJECT LIST WITH BUILDING BREAKDOWN						
Project Type, Project Name, and Buildings	Total Project Cost				Code Req'd or Elected Work <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Dawson Elementary School	\$55,761			\$55,761		\$55,761
Mayo Elementary School	\$168,324			\$168,324		\$168,324
Subtotal:	\$335,847			\$335,847		\$335,847
P27 Exterior Renovation (Senior Center)						
Senior Center		\$50,384		\$50,384		\$50,384
Subtotal:		\$50,384		\$50,384		\$50,384
P28 Interior and Exterior Renovation (Chaffins)						
Chaffins Sub-Station Fire Department	\$2,574,342			\$2,574,342		\$2,574,342
Subtotal:	\$2,574,342			\$2,574,342		\$2,574,342
P29 Interior and Exterior Renovation (Gale Library)						
Gale Free Library		\$2,004,772		\$2,004,772		\$2,004,772
Subtotal:		\$2,004,772		\$2,004,772		\$2,004,772
P30 Interior and Exterior Renovation (Starbard)						
Starbard Building	\$915,596			\$915,596		\$915,596
Subtotal:	\$915,596			\$915,596		\$915,596
P31 Interior and Exterior Renovation (Town Hall)						
Town Hall		\$1,483,344		\$1,483,344		\$1,483,344
Subtotal:		\$1,483,344		\$1,483,344		\$1,483,344
P32 Limited Interior & Exterior Reno (Public Safety)						
Public Safety Building	\$17,293			\$17,293		\$17,293

Capital Improvement and Maintenance Plan						
PROJECT LIST WITH BUILDING BREAKDOWN						
Project Type, Project Name, and Buildings	Total Project Cost				Code Req'd or Elected Work <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Public Safety Building Annex	\$184,618			\$184,618		\$184,618
Subtotal:	\$201,911			\$201,911		\$201,911
P33 Masonry and Sealant Repairs (Municipal Light)						
Municipal Light Department	\$9,494			\$9,494		\$9,494
Subtotal:	\$9,494			\$9,494		\$9,494
P34 Roof Repair and Limited Interior Repairs (Mun. Light)						
Municipal Light Department	\$2,251			\$2,251		\$2,251
Subtotal:	\$2,251			\$2,251		\$2,251
P35 Roof Repair and Limited Interior Repairs (Senior)						
Senior Center	\$26,206			\$26,206		\$26,206
Subtotal:	\$26,206			\$26,206		\$26,206
ROOFING						
P36 Roofing, Gutters, and Downspouts (Schools)						
Davis Hill Elementary School	\$1,347,577			\$1,347,577		\$1,347,577
Dawson Elementary School	\$4,036,500			\$4,036,500		\$4,036,500
Mayo Elementary School	\$119,923			\$119,923		\$119,923
Subtotal:	\$5,504,000			\$5,504,000		\$5,504,000
STRUCTURAL						
P37 Structural Repairs (Starbard)						

Capital Improvement and Maintenance Plan						
PROJECT LIST WITH BUILDING BREAKDOWN						
Project Type, Project Name, and Buildings	Total Project Cost				Code Req'd or Elected Work (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Starbard Building	\$4,744			\$4,744		\$4,744
<b>Subtotal:</b>	<b>\$4,744</b>			<b>\$4,744</b>		<b>\$4,744</b>
<b>TOTAL:</b>	<b>\$8,186,340</b>	<b>\$13,390,400</b>	<b>\$2,589,428</b>	<b>\$24,166,168</b>	<b>\$10,323,811</b>	<b>\$34,489,979</b>

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## **F. APPENDIX (CAPITAL IMPROVEMENTS AND MAINTENANCE PLAN CHARTS)**

The following pages include several items:

F.1 Preliminary Structural Observations Report by Ipswich River Engineering Inc.

F.2 Cost Per Year Chart

F.3 Issue Descriptions Chart

F.4 Issues Photos Chart (Provided under separate cover)

F.5 Systems Category Chart with Issues

F.6 Project List with Issues

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## **F.1 PRELIMINARY STRUCTURAL OBSERVATIONS REPORT BY IPSWICH RIVER ENGINEERING INC.**

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October 29, 2018

Imelda Barnhurst, R.A., Project Architect  
**GIENAPP DESIGN ASSOCIATES, LLC**  
20 Conant Street  
Danvers, Massachusetts 01923

RE: **PRELIMINARY STRUCTURAL OBSERVATIONS OF EXPOSED AND VISIBLE  
PORTIONS OF THE EXISTING FOUNDATION SYSTEM AND TIMBER FLOOR &  
ROOF FRAMING AT THE LLOYD W. STARBARD MEMORIAL BUILDING**  
1204 Main Street – Holden, Massachusetts  
*Ipswich River Engineering, Inc.: IR-0159*

Dear Imelda:

Ipswich River Engineering, Inc. (IREI) has been retained by *Gienapp Design Associates, LLC (GDA)* to perform a preliminary visual structural assessment of the exposed and visible portions of the existing stone masonry foundation system, the existing timber structural floor framing systems at the First, Second and Attic Levels of the building and the existing structural timber roof framing system at the existing *Lloyd W. Starbard Memorial Building* (hereafter referred to as the *Starbard Building* in this IREI report) located at 1204 Main Street in Holden, Massachusetts. Based on a memorial plaque installed on the exterior of the front wall of the building, it appears that the *Starbard Building* was constructed around 1797. The purpose of this preliminary visual structural assessment by IREI was to observe the apparent structural conditions of the visible and exposed portions of the existing foundation system, the existing timber floor framing systems and the existing timber roof framing systems at the *Starbard Building* to document areas, portions and structural systems and members that appear to have structural damage, structural distress or that appear to need further investigation and a more in-depth evaluation.

On September 18, 2018 IREI visited the *Starbard Building* to perform a walk-through of the building to view the portions of the existing foundation system and timber floor and roof framing systems that were visible and exposed to view. During this walk through, IREI viewed the layout and configuration of the exposed foundation system and the timber floor and roof framing system and gathered information on visible signs of structural damage, distress or failure to the visible portions of the foundation system and the various timber floor and roof framing system members and connections. This IREI report will present and outline IREI's preliminary field observations and IREI's professional opinions and recommendations based solely on their structural observations made by them during their September 18,

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2018 walk through of the *Starbard Building*. IREI has included representative photographs that they took during the September 18, 2018 walk through at the end of this report in ***Appendix A***. These photographs were taken by IREI during their September 18, 2018 walk through of the building to document representative conditions of the various structural conditions and issues observed by IREI at the time of their walk through and that are presented and discussed in this report. These photographs are referred to by their Figure Numbers in this report.

**Observations and Comments on the Existing Foundation System of the Building:**

The following are IREI's preliminary field observations, professional opinions and recommendations based solely on IREI's limited visual field observations of the exposed and visible portions of the existing foundation system of the building:

- A significant portion of the interior faces of the exterior perimeter foundation walls in the *Basement Level* of the building and the portions of the exterior faces of the cut stone foundation walls exposed between the finish grade and the bottom of the exterior brick masonry bearing walls were exposed to view. In general, the exposed portions of the exterior perimeter foundation walls of the *Starbard Building* appeared to be constructed of field stone with mortared filled joint with cut stone masonry along the top portions of the walls above finish grade. In general, the exterior perimeter stone masonry foundation walls as observed appear to have been constructed at the time the building was built.
- In general, at the time of IREI's walk through IREI did not observe any significant signs of active or recent global settlement or differential settlement of portions of the stone foundation walls. *GDA's* office and the Holden Facilities Department advised IREI that they did not have any drawings or documentation on the design and configuration of the foundation wall footings, if any, along the base of the stone foundation walls. Based on no significant visible signs of major active or recent settlement, the existing exterior stone foundation wall system appears to be performing well.
- IREI observed that a portion of the of the cut stone foundation wall exposed above the finish grade on the rear portion of the right sidewall (right side of the building as viewed from the front of the building) appears to be out of plumb – See ***Appendix A~ Figure No.1***. This condition could be the result of the lateral soil and hydrostatic pressures acting on the buried portion of this foundation wall below the finish grade, with the horizontal joint between the top of the field stone base portion of the foundation wall and the base of the cut stone top of the wall acting as a hinge point. It is highly unlikely that this portion of the foundation wall was constructed in this out of plumb configuration originally. In IREI's professional opinion, this portion of the foundation wall should be closely monitored by the Town of Holden Facilities Department for any additional

movement or rotation of the cut stone pieces and any newly opened mortar joints in the Basement.

- IREI observed numerous Basement Level steel pipe columns that had the base of the columns supported on top of wood blocking that had been installed directly on top of the concrete Basement Floor slab and not supported on reinforced concrete spread footings– see *Appendix A ~Figure No. 2*. Structurally, this type of column base support condition is not acceptable and the base of these columns should be resupported on new reinforced concrete spread footings designed and detailed to support the column loads imparted from these columns.
- IREI observed numerous Basement Level adjustable steel temporary shoring posts (see *Appendix A – Figure No. 3*) that appear to have been installed to support wood beams installed under portions of the First Floor Level timber floor joists in a likely attempt to reduce the joist deflection and “stiffen” the floor framing system in this area of the floor. The bottom ends of these temporary shoring posts appeared to be supported on the steel base plates of the posts installed and bearing directly on the top of the concrete Basement Floor slab. IREI would assume that this floor slab was never designed or intended to support these concentrated post loads. Structurally, these temporary shoring posts are temporary only and are not structurally acceptable for permanent use. These temporary floor beams and shoring posts should be replaced with new properly engineered timber floor beams and permanent steel pipe columns, with the bases of the new permanent steel columns supported on new reinforced concrete spread footings that have been designed and detailed to support the column loads imparted from these columns.
- In the *Basement Level* IREI observed several *Concrete Masonry Unit (CMU)* walls that based on the *CMU* type IREI would anticipate to have likely been constructed in the last 20 to 30 years. These *CMU* walls appear to be acting as *Basement Level CMU* interior bearing walls for the *First Floor Level* timber floor framing system floor beams and joists. As with the exterior perimeter stone foundation walls, IREI did not observe any significant signs of active or recent differential or global settlement of these *CMU* walls. As with the exterior perimeter foundation walls, the *Holden Facilities Department* advised IREI that to the best of their knowledge they do not have any drawings or documentation on the design and configuration of these interior *Basement Level CMU* walls and any associated wall strip spread footings that were installed to support the bases of these *CMU* walls. Based on no significant signs of major recent or active global and/or differential settlement of these interior *CMU Basement Level* walls, it appears that these *CMU* walls seem to be performing reasonably well.
- At the top of these *new* added *CMU* Basement Level walls just discussed, IREI observed that the *CMU* walls had been built around the timber First Floor Level floor joists and beams, with the

non-preservative treated timber beams and joists being in direct contact with the *CMU* masonry and mortar wall construction (see *Appendix A – Figure No. 5*). This condition has not permitted under the current and the majority of the various previous Massachusetts Building Codes because it results in rot and decay of the timber material that is in direct contact with the masonry and mortar. Only preservative treated timber is, and has been, allowed by the Massachusetts State Building Codes to be indirect contact with masonry or concrete. This framing condition may likely be an structural issue in the future with rot and decay in the timber floor beams and joists in contact with and buried in the *CMU* masonry wall.

**Observations and Comments on the Existing Exterior Multi-Wythe Brick Exterior Bearing Walls:**

The following are IREI's field observations and comments on the existing exterior multi-wythe brick masonry bearing walls at the First and Second Floor levels of the *Starbard Building*:

- In general, the existing exterior perimeter bearing walls on the main building appear to have been constructed of multi-wythe brick masonry walls and support the exterior ends of the various First, Second and Attic Level sawn timber floor beams and the exterior ends of the sawn timber sloped roof beams. Overall, IREI observed that in general given the age of the building and the exterior masonry bearing walls they appear to be in reasonably good structural condition, with no significant signs of active or recent global and/or differential settlement of the masonry walls and the associated foundation walls that support these walls. There are visible signs past differential settlement and/or movement of the masonry walls at the ends of the stone window lintel beams. In general, it is IREI's professional opinion, based on their preliminary field observations, that the exposed exterior surfaces of the First and Second Floor level exterior brick bearing walls appeared to be in reasonably good condition given their age, with no significant active or recent cracking, movement or damage observed at the time of IREI's visit that would indicate significant recent or active movement or settlement of these exterior brick bearing walls.
- IREI did observe that it appears that the exterior masonry bearing wall at a portion of the First Floor Level of the rear wall of the building was reconstructed at some point in the past with *Concrete Masonry Unit (CMU)* wall construction – see *Appendix A ~ Figure No. 4*. It appears that at some time after the original wall was constructed (likely after the 1940's), this portion of the rear wall at the First Floor Level was reconstructed with *CMU* to replace the assumed original exterior multi-wythe brick wall for some unknown reason.
- Except as noted, overall from a structural perspective the existing exterior multi-wythe brick mason bearing walls at the First and Second Floor Levels of the *Starbard Building* appeared to be in a generally sound and stable condition.

**Existing Timber Floor Framing Preliminary Observations and Overview:**

The *Starbard Building* is a two-story, timber framed structure with a full basement. As previously noted in this report, it appears that this building was constructed circa 1797. The majority of the First Floor,

Second Floor and Attic Floor Level floor framing systems of the building were concealed by existing floor sheathing, floor finishes and plaster ceiling finishes and were not exposed to view. In general, the timber roof framing system in the building was exposed to view in the Attic because there were no finish materials on the underside of the roof framing. Given the age of the building and the portions of the timber framing that was exposed to view, the timber framing system in the building appears to be a typical post and beam timber framed structure as would be expected given the age of the building.

Typically, it appears that the floor framing consists of timber floor joists that were able to be directly observed by IREI appeared to be fairly uniformly spaced and typically span between timber floor beams. Typically, in the floor joists that were exposed to view in the First Floor Level (i.e. not concealed by plaster ceiling finishes) IREI observed that the existing floor joists were flush framed into the sides of the timber floor beams, not framed over the tops of the floor beams. As was common with timber post and beam framing of this era, the ends of the joists and beams were *flush* framed into the sides of the main timber floor beams by utilizing typical mortise and tenon type framing connections. Typically, the ends of the floor joists and infill floor beams have a tenon cut into them and the main floor beams have mortises (i.e. recessed blind notch cuts) cut into the sides of the floor beams to receive the tenon end of the floor joists and infill beams. The tenoned ends are constructed by a notch being cut into the bottom end of the joist that results in a projecting end on the upper portion of the joist end that is extended and inserted into the mortise seat cut that is cut into the sides of the floor beams. These mortise and tenon type connections provide a flush framed, bearing type, connection between the tenoned ends of the floor joists and the bottom face of the mortise seat cuts in the sides of the floor beams. IREI observed this type of framing connection in the limited exposed portions of the First Floor Level floor framing.

Typically, the tenons at the bearing ends of the floor joists, and beams in some locations, greatly reduce the joist cross section that is available to resist the horizontal shear stresses and shear forces parallel to the grain of the joist member. However, in accordance with accepted industry design standards for timber design, the allowable shear capacity of a notched end member such as these is greatly reduced from that of a full depth joist because of the reduced member cross section and the resulting stress concentrations that occur at the reentrant corner at the bottom face of the tenon notch. Therefore, this reduction in joist cross section at the bearing end tenons results in a very large reduction in the load capacity of the joist or beam member compared to that for a full-depth, un-notched joist or beam end. These existing mortise and tenon beam to joist and/or beam to beam connections will be discussed in greater detail later in this report related to the roof framing.

IREI observed distress in the plaster ceiling finish along the side of the framed opening in the Second Floor Level floor framing at the side of the main stairway between the First and Second Floor Levels – see **Appendix A ~ Figure No. 6**. Based on IREI's experience, we would anticipate that this distress in the plaster ceiling finish at this location is the result of a shear failure of the assumed *Trimmer Floor Beam* at

along the base of the mortise cuts in the side of the *Trimmer Beam* that receive the tenon cut ends of the typical floor joists that are flush framed into the side of the assumed *Trimmer Floor Beam* – see **Appendix A ~ Figure No 7** for the flush framing connection distress that IREI anticipates at this location [please note that this representative photograph was taken by IREI on another project at a circa 1860 building and was not taken at the *Starbard Building*]. In order to assess this anticipated floor framing distress at this location, the plaster finish would need to be removed to expose the framing connection for further review and comment. This is a very common condition that IREI has seen in many timber-framed buildings of this framing type, configuration and age.

#### **Existing Timber Hip Roof Framing Observations and Overview:**

In general, the majority of the timber hip roof framing system in the *Starbard Building* was exposed to view in the Attic space because there were no finish materials on the underside of the roof framing. As was anticipated given the age of the building and based on IREI's field observations of the portions of the existing timber roof framing that were exposed to view, the existing timber roof framing system in the building appears to be a typical post and beam timber framed roof structure; with main timber roof beams and roof purlin members that span horizontally between the main roof beams – refer to **Appendix A ~ Figure No. 8**. Typically, the ends of the timber roof purlins and infill roof beams have tenon cut ends that flush frame into the mortise seat cuts (i.e. notched cuts) that have been cut into the sides of the main roof beams to receive and support the tenoned ends of the purlins and infill roof beams. The tenon ends are typically constructed by a notch being cut into the bottom end of the purlin or infill beam that results in a projecting end on the upper portion of the member end that is inserted into a mortise seat cut that is cut into the sides of the main roof beams. These mortise and tenon type timber framing connections provide flush framed, bearing type, connections between the ends of the roof purlins and infill roof beams and the main roof beams and roof hip beams. In the main hip roof of the main portion of the building there are main timber roof *Hip Beams* at the four (4) hip ridges in the main roof with the bottom ends of the *Hip Roof Beams* bearing on the top of the exterior bearing walls and the top ends terminating at the ends of the main roof ridge beam.

Typically, the tenons at the bearing ends of the roof framing members greatly reduce the member cross section that is available to resist the horizontal shear forces and shear stresses parallel to the grain of the framing member. In accordance with accepted industry design standards for timber design, the allowable shear capacity of a notched end member is greatly reduced from that of a full depth member because of the reduced member cross section and the resulting stress concentrations that occur at the reentrant corner of the tenon notch. This reduction in member cross section at the bearing end tenons results in a very large reduction in the load capacity of the framing member compared to that for a full-depth, un-notched joist end. In accordance with accepted industry design standards for timber framing design the mortise cuts in the sides of the main roof beam members also greatly reduces the allowable shear capacity of the mortise notched member from that of a full depth member because of the reduced member cross

section and the resulting stress concentrations that occur at the reentrant corners and plane of the bottom of the of mortise notches.

IREI observed numerous main roof beams and beams that exhibit significant horizontal shear cracks (i.e. horizontal splits) in the members that have formed and are located at the plane of the bottom of the mortises cut into the beams that support the tenoned ends of the roof purlins and roof infill beams – refer to ***Appendix A ~ Figures No. 9*** through ***No. 14*** at the end of this report that show representative photographs of these horizontal shear cracks, structural distress and failure conditions in the roof framing members. These horizontal shear cracks (i.e. horizontal splits) are typically indicative of a shear failure of the beams as a result of the stress concentrations occurring at the bottom corners of the mortises and the bottom of the tenoned ends of the roof purlins and infill roof beams from an apparent overloading of these roof members from roof snow loads because of the reduced structural capacity of the roof members because of the mortise and tenon flush framed framing connections. These visible and observed horizontal shear cracks in the various roof framing members that originate at the reentrant corners of the notches at the base of the tenoned ends and along the base of the mortise cuts in the various roof framing members indicate that the roof loads applied to these roof members has exceeded their structural capacity (including all factors of safety) and are in a state of structural failure. This condition appears to be a systemic issue in the existing roof framing system.

In addition, IREI observed that in the timber ridge beam along the ridge of the simple gable roof of the rear wing of the building these appears to be horizontal shear crack (i.e. horizontal split) that has formed and is located at the plane of the bottom of the mortises cut into the ridge beam where the top tenoned ends of the sloped gable roof beams frame into the mortise cuts in the sides of the ridge beam – refer to ***Appendix A ~ Figure No. 15*** that shows a photograph of this roof ridge beam structural distress and failure conditions. This roof ridge beam also appears to support the top end of a steel tension rod (visible in the referenced ***Figure No. 15***) that appears to support an Attic Floor framing member below. This continuous horizontal shear crack (i.e. horizontal split) appears to be indicative of shear failure of this roof ridge beams as a result of the stress concentrations occurring at the bottom corners of the mortises and the bottom of the tenoned ends of the sloped gable roof beams from an apparent overloading of the roof ridge beam member from roof snow loads because of the reduced structural capacity of the roof ridge beam member because of the mortise cuts in each side of the beam to receive the tenoned ends of the top ends of the sloped gable roof beams. This visible and observed horizontal shear crack in this roof ridge beam appears to originate at the reentrant corners of the notches at the base of mortise cuts that receive the tenoned ends of the roof members that flush frame into the side of the ridge beam and in IREI's professional opinion this roof ridge beam has exceeded its structural capacity (including all factors of safety) and is a state of structural failure.

In general, it is IREI's professional experience this type, level and extent of structural distress and damage is quite common in timber framed buildings of this age and framing type and configuration. These timber structures were not engineered to support the current code floor and roof loads based on current *allowable* timber design stresses within the timber members and are often close to or exceed the *ultimate* or *rupture* capacities of the timber ( the stress at which structural failure occurs and is visible); and in general, timber design with sawn lumber requires large factors of safety in design calculations because of the natural variability and statistical probability of the material properties of lumber because timber is a naturally occurring material thereby.

It is IREI's professional opinion that if the Town of Holden wants to maintain occupancy of the *Starbard Building* during the winter months then they should retain a reputable temporary shoring and bracing contractor to engineer, design, specify and install a temporary shoring system to temporarily support all cracked and structurally damaged roof framing members to prevent a complete structural failure and collapse of the roof framing system. This temporary shoring system should remain in place until such time that the structural repair and or complete replacement of this roof framing system can be determined, engineered, designed and structural drawings prepared for the bidding and the work completed on the project. Typically, shoring contractors either have a registered professional structural engineer on staff or they work with one who is familiar with the contractors shoring techniques, members, systems and designs and will provide the Town of Holden with a design~building temporary shoring system.

IREI's trust that this report based on IREI's preliminary visual structural observations of the exposed and visible portions of the structure satisfies *GDA's* and the Town of Holden's needs at this time. If *GDA's* office of the Town of Holden have any questions and/or comments on this IREI report or would like to meet to discuss its contents please do not hesitate to call or email IREI's office. IREI would like to thank *GDA's* office for retaining the firm to perform the above referenced structural engineering services for your firm.

Respectfully submitted,  
IPSWICH RIVER ENGINEERING, INC.

Donald L. Peach, P.E.  
President & Structural Engineer

Attachments: *Appendix A – Representative Photographs*



## APPENDIX A – REPRESENTATIVE PHOTOGRAPHS



*Figure No. 1 – Rotated Cut Stone Piece in the Sidewall Foundation*



*Figure No. 2 – Base of Steel Basement Pipe Columns Supported on Wood Blocking on Top of the Basement Level Concrete Floor Slab*



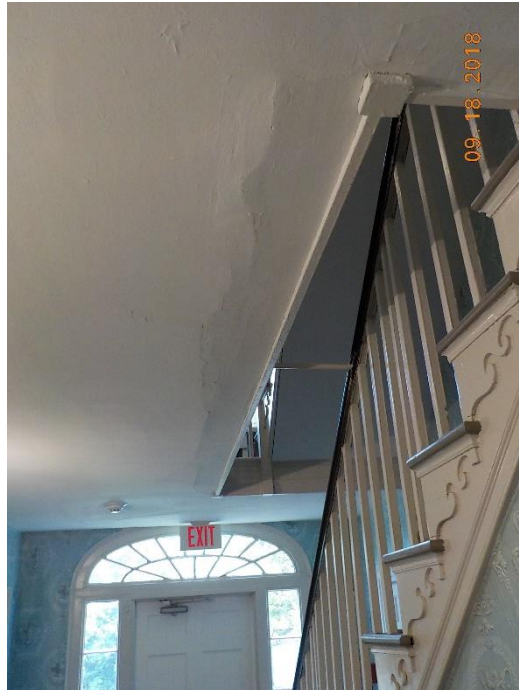
*Figure No. 3 – Basement Level Temporary Timber Reinforcement Floor Beams and Temporary Adjustable Steel Shoring Posts*



*Figure No. 4 – Exterior First Floor Level CMU Masonry Bearing Wall at the Rear Wall of the Starbard Building*



***Figure No. 5 – Timber First Floor Framing in Direct Contact With CMU Masonry Wall Construction at the Basement Level***



***Figure No. 6 – Plaster Distress at 2<sup>nd</sup> Floor Framing at Stairway Opening***





***Figure No. 7 – Anticipated Timber Framing Connection Damage at the Side of the Main Stairway Floor Opening at the 2<sup>nd</sup> Floor Level***



***Figure No. 8 – Typical Timber Roof Framing Configuration of Main Roof Beams and Horizontal Roof Purlins Spanning Between the Roof Beams***



***Figure No. 9***– Typical Horizontal Shear Failure in Infill Roof Beams at the Bottom of the Mortise Cuts at the Flush Framed Connections with Roof Purlins at Each Side of the Main Roof Hip Beams



***Figure No. 10***– Close Up View of Typical Horizontal Shear Failure at the Bottom of Tenon Cut Top Ends of an Infill Roof Beam at the Flush Framed Connection at the Side of the Main Roof Hip Beam





***Figure No. 11*** – Close Up View of Typical Horizontal Shear Failure at Bottom of Mortise Cuts at the Side of an Infill Roof Beam at the Flush Framed Connection with a Roof Purlin Adjacent to a Main Roof Hip Beam



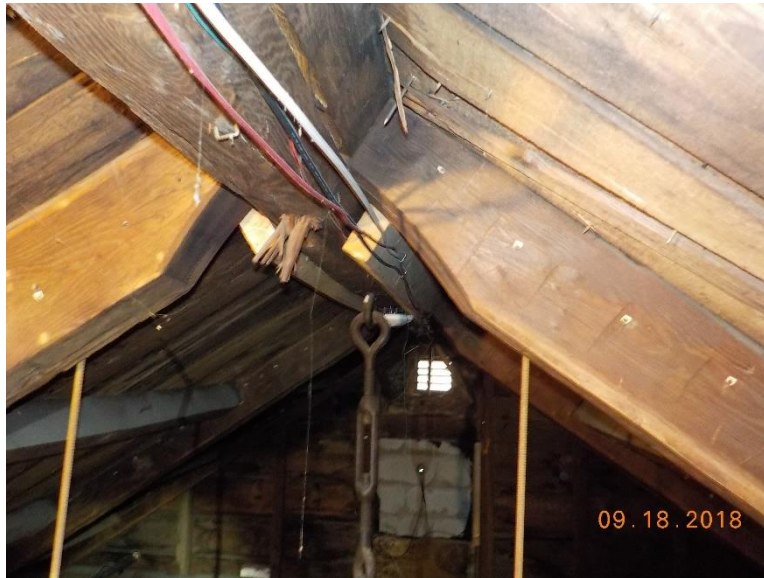
***Figure No. 12*** – Typical Horizontal Shear Failure of Main Roof Beam at the Bottom of the Mortise Cuts for the Flush Framed Connections With Tenoned Ends of the Roof Purlins



**Figure No. 13** – Typical Horizontal Shear Failure of Main Beam at the Bottom of Mortise Cuts for Flush Framed Connections With Roof Purlins at Side of Roof Opening for the Roof Cupola



**Figure No. 14** – Typical Horizontal Shear Failure of a Main Roof Beam at the Bottom of Mortise Cuts for Flush Framed Connections With the Tenoned End of a Typical Roof Purlin



***Figure No. 15*** – Typical Horizontal Shear Failure of Main Roof Ridge Beam at the Rear Building Wing at the Bottom of the Mortise Beam Cuts at the Flush Framed Connections With the Tenoned Top Ends of the Main Sloped Gable Roof Beams



## **F.2 COST PER YEAR CHART**

The information provided on the following chart identifies each individual issue discovered during the assessment and their associated time period cost.

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**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		

**CHAFFINS SUB-STATION FIRE DEPARTMENT**

Square Footage: 13,740 SF

1	Entire Building. No Accessible Hardware	E	Code	Accessibility (Depends on Other Work)	No	If triggered by Code, replace the door hardware with accessible hardware. Note: if the building remains employee only, handicapped door hardware is not required by the MAAB. - <i>Noted for Information (Not Part of Project)</i>					\$0
2	Entire Building. Potential Fire Station Compliance Issues	E	Code	Renovation (Multiple Types)	No	To make the building function better for the fire department, a significant renovation is needed. Additionally, if the attached adjacent building undergoes a major renovation, this portion may need to be replaced with a new building. This is noted for information; therefore, no cost has been assigned. - <i>Elective Improvement (Not Part of Project)</i>					\$9,243,590
3	Exterior. Break Metal Fascia Screws Rusted	B	Envelope	Finishes (Exterior)	No	Replace rusted screws. - <i>Interior and Exterior Renovation (Chaffins)</i>	\$10,350			\$10,350	
4	Exterior, South. Masonry Crack	B	Envelope	Masonry	No	Repair the crack. - <i>Interior and Exterior Renovation (Chaffins)</i>	\$3,760			\$3,760	
5	Exterior Walls. No Insulation at Walls	D	Envelope	Insulation	No	If the building does not get replaced, the exterior walls could be furred out with insulation. - <i>Interior and Exterior Renovation (Chaffins)</i>			\$87,360	\$87,360	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
6	Rear Left of Apparatus Bay. Partial Roof Collapse	A	Envelope	Structural	Yes	Replace rusted metal deck and replace roofing (total roof approximately 20 ft x 68 ft). - <i>Interior and Exterior Renovation (Chaffins)</i>	\$603,750			\$603,750	
7	Entire Building. Ceiling Worn	D	Interior	Finishes (Interior)	No	If the lights are replaced, the ceiling grid and tile should also be replaced. - <i>Interior and Exterior Renovation (Chaffins)</i>		\$32,980		\$32,980	
8	Dayroom. Insufficient Lockers (Optional)	Z	Interior	FYI	No	This item is just noted for your information. - <i>Interior and Exterior Renovation (Chaffins)</i>					
9	Men's Room. Clean-out Plug	E	MEP/FP	Plumbing	No	Chip out flooring to provide access to clean-out. - <i>Interior and Exterior Renovation (Chaffins)</i>			\$7,490	\$7,490	
10	Bottom of Stairwell. Electric Service Equipment	C	MEP/FP	Electrical	No	Upgrade service equipment with new, sized to accommodate current and future loads, in a new electrical room with separate metering for different occupants. - <i>Interior and Exterior Renovation (Chaffins)</i>					\$336,380
11	Entire Building. Emergency Egress Lighting	E	MEP/FP	Emergency Lighting	No	Provide exit signs, emergency battery units and remote heads with LED units to meet current code. - <i>Interior and Exterior Renovation (Chaffins)</i>					\$92,430

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
12	Exterior. Exterior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - <i>Interior and Exterior Renovation (Chaffins)</i>		\$76,050		\$76,050	
13	Entire Building. Fire Alarm	E	MEP/FP	Fire Alarm	Yes	Replace fire alarm system with new addressable system. - <i>Interior and Exterior Renovation (Chaffins)</i>	\$160,000			\$160,000	
14	Entire Building. Insufficient Toilet Facilities	E	MEP/FP	Code (Depends on Other Work)	No	If triggered, provide a second toilet room. - <i>Interior and Exterior Renovation (Chaffins)</i>					\$336,380
15	Entire Building. Interior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - <i>Interior and Exterior Renovation (Chaffins)</i>		\$361,730		\$361,730	
16	Entire Building. No Exit Signs	E	MEP/FP	Electrical	No	Provide exit signs. - <i>Interior and Exterior Renovation (Chaffins)</i>		\$7,310		\$7,310	
17	Entire Building. No Sprinklers	E	MEP/FP	Fire Protection	No	Due to the size of the building, nearly any renovation will trigger the need to add sprinklers to the building. If the existing DPW portion remains (not demolished), the building exceeds 7,500 gsf and will require sprinklers (which is carried in this line item). If not, this will need to be re-evaluated. - <i>Interior and Exterior Renovation (Chaffins)</i>					\$462,180

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
18	Exterior. Standby Power	C	MEP/FP	Electrical	No	Replace generator due to age. - <i>Interior and Exterior Renovation (Chaffins)</i>	\$194,930			\$194,930	
19	Toilet Room. Toilet Room Fan	C	MEP/FP	HVAC	No	Install a new fan. - <i>Interior and Exterior Renovation (Chaffins)</i>	\$15,010			\$15,010	
Subtotal for Chaffins Sub-Station Fire Department:							\$987,800	\$478,070	\$94,850	\$1,560,720	\$10,470,960

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
DAMON HOUSE										Square Footage:	2,810 SF
20	Entire Building, mostly Second Floor. Door Hardware Not Accessible (Knobs)	E	Code	Accessibility (Depends on Other Work)	No	Replace knobs with levers. - Accessibility Upgrades (Damon House)					\$13,650
21	Front and Rear Entry. Entry Not Accessible	E	Code	Accessibility (Depends on Other Work)	No	If the building is to remain 'employee-only', no accessible entrance is required by the MAAB. However, if the public uses the building, then a ramp will need to be installed. This line item assumes the building will remain 'employee-only'. - Accessibility Upgrades (Damon House)					\$67,280
22	All floors (3). No Accessible Toilet Rooms	E	Code	Accessibility (Depends on Other Work)	No	If the building is to remain 'employee-only', accessible toilet rooms are not required by the MAAB. This line item assumes that one bathroom will be upgraded. However, this should be reviewed at the beginning of any project to confirm required and viable number and locations for accessible toilet rooms. - Accessibility Upgrades (Damon House)					\$114,360

### Capital Improvement and Maintenance Plan

#### COST PER YEAR CHART

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
23	Entire building. No Accessible Vertical Circulation	E	Code	Accessibility (Depends on Other Work)	No	Do one of the following: 1) Provide an elevator or lift, or 2) Maintain the building as 'employee only', which the MAAB does not require to be accessible. The cost reflects option 2. - <i>Accessibility Upgrades (Damon House)</i>					\$0
24	First Floor. No Braille Signage	E	Code	Accessibility (Depends on Other Work)	No	If the building is maintained as 'employee-only', accessibility is not required by the MAAB. If this changes, accessible signage will be required. - <i>Accessibility Upgrades (Damon House)</i>					\$9,750
25	Stairs. Non-Compliant Handrails	E	Code	Accessibility (Depends on Other Work)	No	If the building is maintained as 'employee-only', accessibility is not required by the MAAB. If this changes, accessible handrails will be required. - <i>Accessibility Upgrades (Damon House)</i>					\$47,090
26	Roof. Asphalt Shingle Deterioration	B	Envelope	Roofing	No	Temporary fix: clean; Permanent fix: replace the roofing. The cost associated with this item assumes the roof will be replaced. - <i>Exterior Finishes Upgrades (Historic)</i>		\$40,950		\$40,950	
27	Multiple locations. Cracked Glass Storm Windows	C	Envelope	Windows	No	Replace damaged storm windows. - <i>Maintenance Items</i>		\$1,750		\$1,750	



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							1-3	4-7	8-10		
28	Exterior. Foundation Masonry Items	D	Envelope	Masonry	No	Remove stuffing (2 locations) and cover with siding. Clean masonry. - <i>Exterior Finishes Upgrades (Historic)</i>		\$6,730		\$6,730	
29	Basement. No Insulation at Basement Ceiling	E	Envelope	Insulation	No	Add fiberglass batt insulation in first floor framing. - <i>MEP Improvements (Historic)</i>	\$19,330			\$19,330	
30	Exterior. Paint Peeling (Exterior)	B	Envelope	Finishes (Exterior)	No	Scrape and paint all exterior painted surfaces. - <i>Exterior Finishes Upgrades (Historic)</i>	\$4,830			\$4,830	
31	Exterior Steps and Porches (3 locations). Wood Deck Finish Deterioration	D	Envelope	Finishes (Exterior)	No	Strip and refinish. - <i>Exterior Finishes Upgrades (Historic)</i>		\$7,800		\$7,800	
32	Various Locations (Qty: +/-3). Wood Trim Holes	D	Envelope	Finishes (Exterior)	No	Fill and cover the hole. Paint to match. - <i>Exterior Finishes Upgrades (Historic)</i>		\$2,200		\$2,200	
33	Entire Building. Wood Windows in Poor Condition	D	Envelope	Windows	No	Replace windows including those in the unoccupied basement. - <i>Exterior Finishes Upgrades (Historic)</i>		\$184,280		\$184,280	

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							1-3	4-7	8-10		
34	Entire Building. Carpet in Poor Condition	D	Interior	Finishes (Interior)	No	Replace carpet. - Interior Finishes Upgrades (Historic)		\$39,000		\$39,000	
35	Entire building (interior). Paint Damage (Interior)	C	Interior	Finishes (Interior)	No	Repaint. - Interior Finishes Upgrades (Historic)		\$23,400		\$23,400	
36	Various Locations (i.e. Lobby). Wallpaper Damage	D	Interior	Finishes (Interior)	No	Replace limited wallpaper in the building with paint. - Interior Finishes Upgrades (Historic)			\$15,130	\$15,130	
37	Basement. Boiler Combustion Air Intake Issue	D	MEP/FP	HVAC	No	Install the combustion air intake fitting. - MEP Improvements (Historic)	\$440			\$440	
38	Bathrooms. Dated Plumbing Fixtures	D	MEP/FP	Plumbing	No	Replace fixtures. - MEP Improvements (Historic)			\$6,300	\$6,300	
39	Basement. Domestic Water Piping Not Insulated	D	MEP/FP	Plumbing	No	Insulate the piping. - MEP Improvements (Historic)	\$5,950			\$5,950	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
40	Basement. Electric Service Equipment	A	MEP/FP	Electrical	Yes	Replace covers on panelboard and junction box. - <i>MEP Improvements (Historic)</i>	\$5,180			\$5,180	
41	Entire Building. Emergency Egress Lighting	E	MEP/FP	Emergency Lighting	No	Replace exit signs, emergency battery units and remote heads with new LED units. Add additional units to meet current code. - <i>MEP Improvements (Historic)</i>	\$21,830			\$21,830	
42	Bathrooms. Exhaust Fan Exhaust Air Issue	D	MEP/FP	HVAC	No	Properly vent exhaust fans to the exterior. - <i>MEP Improvements (Historic)</i>			\$15,750	\$15,750	
43	Exterior. Exterior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - <i>MEP Improvements (Historic)</i>		\$5,850		\$5,850	
44	Entire Building. Fire Alarm	D	MEP/FP	Fire Alarm	No	Replace fire alarm system with new. - <i>MEP Improvements (Historic)</i>					\$43,680
45	Entire Building. Interior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - <i>MEP Improvements (Historic)</i>		\$76,440		\$76,440	
46	First Floor Bathroom. Lavatory Damage	C	MEP/FP	Plumbing	No	Replace the damaged lavatory. - <i>MEP Improvements (Historic)</i>		\$2,930		\$2,930	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
47	Basement. No Expansion Tank (Boiler/Water Heater)	A	MEP/FP	Plumbing	No	Provide expansion tank. - <i>MEP Improvements (Historic)</i>	\$3,800			\$3,800	
48	Basement. Oil Tanks Abandoned	A	MEP/FP	Code (Depends on Other Work)	Yes	Remove oil tank. - <i>MEP Improvements (Historic)</i>					\$8,490
49	Basement. Panelboard Clear Space Violations	A	MEP/FP	Electrical	Yes	Clean storage items out of clear space and mark floor with paint and provide signs indicting clear space requirements. Since this line item includes cleaning and paint or caution tape, the amount carried assumes minimal materials. - <i>Maintenance Items</i>	\$1,040			\$1,040	
50	Left Bay Window at Foundation. Erosion at Grade	D	Site	Site	No	Refill holes, loam, and seed. - <i>Maintenance Items</i>		\$43,880		\$43,880	
Subtotal for Damon House:							\$62,400	\$435,210	\$37,180	\$534,790	\$304,300

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year <i>(Total Project Cost)</i>			Subtotal	Cost <i>(Triggered by Code)</i>
							1-3	4-7	8-10		
DAVIS HILL ELEMENTARY SCHOOL										Square Footage:	77,271 SF
51	Sidewalk Near Garden. Garden Curb Cut Missing	B	Code	Accessibility (Depends on Other Work)	No	Install curb cut. - Exterior Renovation (Schools)	\$3,760			\$3,760	
52	Outside Kindergarten and Rear Gym Exit. Concrete Stoop and Exterior Door Issue	B	Envelope	Site	Yes	Remove and replace concrete pad. This line item also includes replacing the hollow metal door and frame, which have rusted as a result of this issue. - Exterior Renovation (Schools)	\$15,010			\$15,010	
53	Gymnasium at Far End Emergency Exit. Door Opening Issue (Gym Emergency Exit)	A	Envelope	Doors	No	Replace the door and hardware. - Exterior Renovation (Schools)	\$3,760			\$3,760	
54	Entire Building. Downspout Drains Clogged	D	Envelope	Plumbing	No	Replace underground drainage system. Following this work, ensure that the downspouts are clear. - Roofing, Gutters, and Downspouts (Schools)		\$4,880		\$4,880	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
55	Outside Kitchen. Drain Outside Kitchen Clogged	D	Envelope	Plumbing	No	Clear the drain. Since this is a maintenance item, no cost is being carried by this line item. - <i>Maintenance Items</i>	\$0			\$0	
56	Various Locations. Exterior Door Frames Rusting	D	Envelope	Doors	No	Treat and paint to extend the life of the frame. - <i>Exterior Renovation (Schools)</i>	\$15,530			\$15,530	
57	Entire Building. Exterior Wall Pack Lights Issues	C	Envelope	Lighting	No	Replace lights. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$3,760			\$3,760	
58	At Various Entries. Gutter Ends Sloped Incorrectly	B	Envelope	Gutters and Downspouts	No	Detach and reattach the gutters with the correct slope. - <i>Roofing, Gutters, and Downspouts (Schools)</i>	\$4,560			\$4,560	
59	Entire Building. Gutters and Downspouts Seam Issues	D	Envelope	Gutters and Downspouts	No	Repair and seal joints. - <i>Roofing, Gutters, and Downspouts (Schools)</i>		\$3,760		\$3,760	
60	Various Locations. Metal Cornice/Cove Joint Failure	C	Envelope	Finishes (Exterior)	No	Resecure with rivets or screws. - <i>Exterior Renovation (Schools)</i>		\$8,080		\$8,080	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
61	Roof Drainage / Gutters. Potential Ice Falling Damage	A	Envelope	Roofing	Yes	Clean gutters. Install ice melt system at gutter/roof. Install ice stops on roof. - <i>Roofing, Gutters, and Downspouts (Schools)</i>	\$0			\$0	
62	Various Locations. Roof Edge Resulting in Water Damage	C	Envelope	Gutters and Downspouts	No	Install rain diverters. - <i>Roofing, Gutters, and Downspouts (Schools)</i>	\$7,760			\$7,760	
63	Entire. Roof Shingles	C	Envelope	Roofing	No	Replace shingles. - <i>Roofing, Gutters, and Downspouts (Schools)</i>		\$1,131,980		\$1,131,980	
64	Exterior Windows and Doors, Entire Building. Sealant Aging	C	Envelope	Sealant (Exterior)	No	Replace in 5 to 10 years. - <i>Exterior Renovation (Schools)</i>			\$73,500	\$73,500	
65	Entire Building. Snow Guards	B	Envelope	Roofing	Yes	Install new ridge-mounted guards. - <i>Roofing, Gutters, and Downspouts (Schools)</i>	\$165,600			\$165,600	
66	Front Entrance. Soffit Panel Joints	B	Envelope	Finishes (Exterior)	No	Repair screws or rivets. - <i>Exterior Renovation (Schools)</i>	\$6,210			\$6,210	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
67	Various Locations. Carpet Wear and Tear	D	Interior	Finishes (Interior)	No	Replace carpet. - <i>Interior Finish Improvements (Schools)</i>	\$310,500			\$310,500	
68	Entire Building. Ceiling Tile Damage	D	Interior	Finishes (Interior)	No	Replace damaged ceiling tiles. - <i>Interior Finish Improvements (Schools)</i>		\$362,700		\$362,700	
69	Gym Entrance from the Corridor. Door Damage (Gym)	B	Interior	Doors	Yes	Repair or replace doors. This line item assumes the door will be replaced. - <i>Interior Finish Improvements (Schools)</i>	\$3,760			\$3,760	
70	Backboards in Gym. Head Protection Missing or Hanging Off	D	Interior	Finishes (Interior)	No	Install and correct the padding. - <i>Interior Finish Improvements (Schools)</i>		\$1,530		\$1,530	
71	Library. IT and Library Office Configuration	Z	Interior	FYI	No	No action recommended. Noted for information. - <i>Noted for Information (Not Part of Project)</i>					
72	Entire Building. Paint Damage (Interior)	D	Interior	Finishes (Interior)	No	Repaint all walls, door frames, gyp soffits, etc. - <i>Interior Finish Improvements (Schools)</i>	\$500,040			\$500,040	
73	Stairs. Stair Tread Scuffs	D	Interior	Finishes (Interior)	No	Replace the rubber stair treads. - <i>Interior Finish Improvements (Schools)</i>			\$31,500	\$31,500	



### Capital Improvement and Maintenance Plan

#### COST PER YEAR CHART

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							1-3	4-7	8-10		
74	Various Locations. VCT Flooring Damage	D	Interior	Finishes (Interior)	No	Replace the VCT. - <i>Interior Finish Improvements (Schools)</i>			\$189,000	\$189,000	
75	IT Room. AC Unit Not Working (IT Room)	A	MEP/FP	HVAC	YES	Have service company make a service call to correct the operation of the unit. Since this is a maintenance item, no cost is being included. - <i>Maintenance Items</i>	\$0			\$0	
76	Bathrooms. Bathroom Floor Drains Issues	A	MEP/FP	Plumbing	Yes	1: Re-pitch floors. 2: Have the sanitary piping scoped to determine the exact nature of the problem. - <i>Bathroom Floor Drainage Project (School)</i>	\$3,450			\$3,450	
77	Boiler Room. Boiler Age	Z	MEP/FP	HVAC	No	Evaluate the useful life. If as assumed, replace the boilers. - <i>MEP/FP Improvements (School) - Year 8 to 10</i>			\$330,750	\$330,750	
78	Boiler Room. Boiler Flue Issue	B	MEP/FP	HVAC	Yes	Install chip tank / neutralizer. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$600			\$600	
79	Boiler Room. Boiler Panels Rusting	C	MEP/FP	HVAC	No	Adjust the temperature reset ramp. Set the minimum return water temperature to be above 140° F. Check inner casing panel tightness of gasketing. Since the repair of this item is dependent on the investigation of the gasketing, no cost is included. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$0			\$0	

**Capital Improvement and Maintenance Plan**

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							1-3	4-7	8-10		
80	Various Locations. Ceiling Tiles Missing	A	MEP/FP	Finishes (Interior)	YES	Reinstall ceiling tiles. The cost of this item is included in the "Ceiling Tile Damage" line item. - <i>Interior Finish Improvements (Schools)</i>	\$0			\$0	
81	Entire Building. Clock System	D	MEP/FP	Electrical	No	Replace clock system with new. - <i>MEP/FP Improvements (School) - Year 8 to 10</i>		\$53,980		\$53,980	
82	First Floor Laundry. Cloths Dryer Duct	A	MEP/FP	HVAC	Yes	Install new dryer exhaust duct. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$860			\$860	
83	Boiler Room. Domestic Hot Water	A	MEP/FP	Plumbing	Yes	Install expansion tank on domestic hot water. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$5,180			\$5,180	
84	Corridor 230. Drinking Fountain Not Working	B	MEP/FP	Plumbing	Yes	Replace / Repair drinking fountain. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$2,590			\$2,590	
85	Electric Rooms. Electric Room Clear Space Violations	A	MEP/FP	Code (Depends on Other Work)	Yes	Clean storage items out of electric room and mark floor with paint and provide signs indicating clear space requirements. Since this line item includes cleaning and paint or caution tape, limited cost is carried for paint and tape. - <i>Maintenance Items</i>	\$1,040			\$1,040	

**Capital Improvement and Maintenance Plan**

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							1-3	4-7	8-10		
86	Elevator. Elevator	Z	MEP/FP	FYI		Noted for information. - <i>Noted for Information (Not Part of Project)</i>					
87	Boys and Girls 174 and 175. Exhaust Fan Issue	C	MEP/FP	HVAC	Yes	Replace/repair exhaust fan. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$5,260			\$5,260	
88	Kitchen. Exhaust Fan Noise	D	MEP/FP	HVAC	No	Open the wall and put louver in wall. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>		\$3,780		\$3,780	
89	Exterior. Exterior Site Lighting Issues	D	MEP/FP	Lighting	No	Replace HID exterior lighting with LED. - <i>MEP/FP Improvements (School) - Year 8 to 10</i>			\$7,510	\$7,510	
90	Entire Building. Failed Refrigerant Line Insulation	B	MEP/FP	HVAC	Yes	Replace insulation.  - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$7,760			\$7,760	
91	Entire Building. Fire Alarm	C	MEP/FP	Fire Alarm	No	Replace fire alarm system in it's entirety with new addressable system. - <i>MEP/FP Improvements (School) - Year 8 to 10</i>			\$730,490	\$730,490	

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							1-3	4-7	8-10		
92	Kitchen. Freezer Condensation Damage	A	MEP/FP	HVAC	Yes	Freezer service company should provide sufficient insulation in the freezer walls to prevent condensation. Since this is a maintenance item, no cost has been associated with it. - <i>Maintenance Items</i>	\$0			\$0	
93	Roof Drainage / Gutters. Gutters Clogged	B	MEP/FP	Gutters and Downspouts	Yes	Repair/replace gutters as needed. - <i>Roofing, Gutters, and Downspouts (Schools)</i>	\$5,180			\$5,180	
94	Boiler Room. Heating Hot Water Pumps Age	Z	MEP/FP	Plumbing	No	Evaluate the useful life. This line item assumes they will need to be replaced within the next 10 years. - <i>MEP/FP Improvements (School) - Year 8 to 10</i>			\$5,500	\$5,500	
95	Music Room. Hot Water Not Working (Music Room)	B	MEP/FP	Plumbing	Yes	Repair/replace faucet. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$260			\$260	
96	IT Room . IT Room Condensing Unit Not Working	A	MEP/FP	HVAC	Yes	Replace the unit and provide a protective cover so falling ice damage can be limited. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$5,260			\$5,260	

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							1-3	4-7	8-10		
97	Stairwell #3 Exit. Leaking Fan Coil Unit	A	MEP/FP	HVAC	Yes	Repair piping. Based on comments during our assessment, it is assumed this has already been repaired as part of a maintenance effort. Therefore, this line item will carry no cost. - <i>Maintenance Items</i>	\$0			\$0	
98	Boiler Room. P&T Relief Valve on Water Heater Missing	A	MEP/FP	Plumbing	Yes	Install P&T relief valve. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$440			\$440	
99	Fire Protection. Quick Response Sprinklers	A	MEP/FP	Fire Protection	YES	Replace all sprinkler heads. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$133,340			\$133,340	
100	Air Cooled Condensing Units. Refrigerant Piping	C	MEP/FP	HVAC	No	Reinsulate the refrigerant piping. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$22,510			\$22,510	
101	Storeroom across from the Kitchen. Room Overheating	C	MEP/FP	HVAC	No	Reconfigure the combination louver and exhaust hood. Increase make-up air into the space. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$15,010			\$15,010	

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							1-3	4-7	8-10		
102	Various Locations. Several Light Fixtures Out	C	MEP/FP	Lighting	No	Replace lamps with new. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$7,760			\$7,760	
103	Exterior. Standby and Emergency Power	Z	MEP/FP	Electrical	No	Generator shall be maintained annually and exercised weekly. Since the suggested action is maintenance and testing, this line item will carry no cost. - <i>Maintenance Items</i>					
104	Stair #2 First Floor. Wall mounted cabinet heater	A	MEP/FP	HVAC	Yes	Repair leak. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$1,500			\$1,500	
105	Fire Protection. Water Supply Concerns	A	MEP/FP	Fire Protection	Yes	Investigate water supply main for closed valves, possible blockages and changes to the municipal system. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$4,310			\$4,310	
106	Office. Panic Switch	D	*Security	Electrical	No	Provide panic switch connected with the Holden Police Department. - <i>Elective Improvement (Not Part of Project)</i>	\$1,510			\$1,510	
Subtotal for Davis Hill Elementary School:							\$1,264,070	\$1,516,710	\$1,422,230	\$4,203,010	

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							1-3	4-7	8-10		

**DAWSON ELEMENTARY SCHOOL**

Square Footage: 59,178 SF

107	Entire Building. Door Accessibility Issues	E	Code	Accessibility (Depends on Other Work)	No	No action recommended. If a project triggers accessibility improvements, apply for a variance since the walls are masonry and the cost significantly outweighs the benefit. Since applying for a variance includes no construction cost, no cost is included for this item. - <i>Exterior Renovation (Schools)</i>					\$0
108	Exterior, Various Locations. Brick Staining	A	Envelope	Masonry	No	Investigate the cause of the water and fix it. (This line item assumes it's failed sealant joints in the metal soffit.) Afterwards, clean the brick below. - <i>Exterior Renovation (Schools)</i>	\$7,500			\$7,500	
109	Exterior, Various Locations. Canopy Finish Damage	D	Envelope	Finishes (Exterior)	No	Clean the canopies and repaint. - <i>Exterior Renovation (Schools)</i>		\$11,700		\$11,700	
110	Rear Side of Left Wing. Masonry Crack	C	Envelope	Masonry	No	Repair the crack. - <i>Exterior Renovation (Schools)</i>	\$3,890			\$3,890	

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							1-3	4-7	8-10		
111	Entire Roof. Roof Age Concern	B	Envelope	Roofing		Replace entire roof in 5-10 years. While replacing, add tapered insulation to help with standing water issues. - <i>Roofing, Gutters, and Downspouts (Schools)</i>		\$4,036,500		\$4,036,500	
112	Exterior. Sealant Failure at EIFS	B	Envelope	Sealant (Exterior)	No	Replace the sealant. - <i>Exterior Renovation (Schools)</i>	\$15,010			\$15,010	
113	Exterior, Left of the Cafeteria. Spray Foam Insulation Deteriorating	C	Envelope	Insulation	No	Replace the insulation. - <i>Exterior Renovation (Schools)</i>		\$5,260		\$5,260	
114	Various Locations (Small Offices). Carpet Worn	D	Interior	Finishes (Interior)	No	Replace the carpet. - <i>Interior Finish Improvements (Schools)</i>			\$189,000	\$189,000	
115	Entire Building. Ceiling Tiles Damage	D	Interior	Finishes (Interior)	No	Once the roof is replaced (see "Roof Age Concern"), replace the ceiling tiles. This should be done as part of the roof project. - <i>Interior Finish Improvements (Schools)</i>		\$702,000		\$702,000	
116	Outside room #B55. Door and Sidelight Frame Rusted	D	Interior	Doors	No	Replace exterior door and sidelight frame with galvanized frame. - <i>Exterior Renovation (Schools)</i>	\$11,260			\$11,260	



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#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
117	Emergency Electrical Room (B39A). Door Hardware Missing (Emergency Elec.)	D	Interior	Doors	No	Replace the lockset. - <i>Maintenance Items</i>	\$910			\$910	
118	Room B34. Door Missing	Z	Interior	Doors	No	It is assumed this is intentional, so this item is just for information and no cost is associated with it. - <i>Noted for Information (Not Part of Project)</i>					
119	Interior (Entire Building). Paint Damage (Interior)	D	Interior	Finishes (Interior)	No	Paint the interior. - <i>Interior Finish Improvements (Schools)</i>		\$472,500		\$472,500	
120	Near Entrance. Skylight Cardboard Frame	Z	Interior	Finishes (Interior)	No	Noted for information. - <i>Noted for Information (Not Part of Project)</i>					
121	Various Locations. VCT Damage	D	Interior	Finishes (Interior)	No	Replace the VCT. - <i>Interior Finish Improvements (Schools)</i>		\$94,500		\$94,500	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
122	Various Locations. Wall Base Missing (Limited Areas)	D	Interior	Finishes (Interior)	No	Replace the wall base. - <i>Interior Finish Improvements (Schools)</i>	\$11,210			\$11,210	
123	Corridors. Wallpaper Detaching	D	Interior	Finishes (Interior)	No	Reattach/reglue the wallpaper. - <i>Interior Finish Improvements (Schools)</i>	\$3,800			\$3,800	
124	Area of large skylight over library. Water Damage from Roof	B	Interior	Finishes (Interior)	No	Replace the ceiling tiles and roof drain covers. (See also "Roof Age Concern".) - <i>Interior Finish Improvements (Schools)</i>		\$3,800		\$3,800	
125	Gym. Wood Stairs at Stage Worn	D	Interior	Finishes (Interior)	No	Refinish the steps. - <i>Interior Finish Improvements (Schools)</i>		\$5,260		\$5,260	
126	Boiler Room. AHU-2 Condensate Leak	B	MEP/FP	HVAC	Yes	Clean condensate drain pan and condensate line. - <i>Maintenance Items</i>	\$0			\$0	
127	Kitchen. Bathroom Flush Valve (Staff, by Cafeteria)	D	MEP/FP	Plumbing	No	Adjust flush valve. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$110			\$110	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
128	Bathrooms B-10 & B-11. Bathroom Flush Valves (by Cafeteria)	E	MEP/FP	Plumbing	No	Replaced flush valves and fixtures. - MEP/FP Improvements (School) - Year 8 to 10					\$15,600
129	Boiler Room. Boiler Panels Rusting	C	MEP/FP	HVAC	No	Adjust the temperature reset ramp. Set the minimum return water temperature to be above 140° F. Check inner casing panel tightness of gasketing. Confirm there are no tube leaks. Since the solution depends on the result of the testing, this line item will carry no cost. - MEP/FP Improvements (School) - Year 1 to 3	\$0			\$0	
130	Boiler Room. Boilers	Z	MEP/FP	HVAC	No	Replace the boilers. - MEP/FP Improvements (School) - Year 8 to 10			\$0	\$0	
131	Entire Building. Clock System Issues	D	MEP/FP	Electrical	No	Replace clock system with new. - MEP/FP Improvements (School) - Year 8 to 10			\$141,750	\$141,750	
132	Room B-36, Room C-20. Drinking Fountain	D	MEP/FP	Plumbing	No	Replace the drinking fountain. - MEP/FP Improvements (School) - Year 1 to 3	\$5,180			\$5,180	

### Capital Improvement and Maintenance Plan

#### COST PER YEAR CHART

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
133	Electric rooms. Electric Room Clear Space Violations	A	MEP/FP	Code (Depends on Other Work)	Yes	Clean storage items out of electric room and mark floor with paint and provide signs indicting clear space requirements. Since this line item includes cleaning and paint or caution tape, no cost is included. - <i>Maintenance Items</i>	\$1,040			\$1,040	
134	Roof, Various Fans. Exhaust Fans Issues	B	MEP/FP	HVAC	Yes	Investigate the fans to determine exact issue. If possible, repair them; otherwise, replace them. This line item assumes the fans will need replacement. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$81,510			\$81,510	
135	Roof. Exhaust Fans on Roof	D	MEP/FP	HVAC	No	Replace fan. This line item assumes that the fans under item "Exhaust Fans Issues" are being addressed under that line item. The balance of fans equals 11. - <i>MEP/FP Improvements (School) - Year 8 to 10</i>			\$121,280	\$121,280	
136	Exterior. Exterior Lighting	D	MEP/FP	Lighting	No	Replace HID exterior lighting with LED. - <i>MEP/FP Improvements (School) - Year 8 to 10</i>			\$3,750	\$3,750	
137	Entire Building. Fire Alarm Age	C	MEP/FP	Fire Alarm	No	Replace fire alarm system in it's entirety with new addressable system. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>		\$614,250		\$614,250	
138	Boiler Room. Hot Water Pumps Age	C	MEP/FP	Plumbing	No	Replace units. - <i>MEP/FP Improvements (School) - Year 8 to 10</i>			\$15,750	\$15,750	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
139	Roof. Kitchen Cooler/Freezer Condensing Units	B	MEP/FP	HVAC	Yes	Replace units. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$25,880			\$25,880	
140	Roof. Kitchen Exhaust Fan EF -7	B	MEP/FP	HVAC	Yes	Replace grease collector. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$3,760			\$3,760	
141	Bathrooms C-20 & C-21. Plumbing Fixtures Age	D	MEP/FP	Plumbing	No	Replace fixtures. - <i>MEP/FP Improvements (School) - Year 8 to 10</i>		\$25,350		\$25,350	
142	Roof. Roof Mounted ACC Unit (#PFC027A)	C	MEP/FP	HVAC	No	Replace unit. - <i>MEP/FP Improvements (School) - Year 8 to 10</i>			\$37,590	\$37,590	
143	Roof. Roof Mounted ACC Unit (#TTA060)	A	MEP/FP	HVAC	Yes	Replace unit. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$75,040			\$75,040	
144	Roof. Roof Mounted ACC Unit (#YCJD48)	A	MEP/FP	HVAC	Yes	Replace unit. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$9,060			\$9,060	
145	Nurse's Office. Sink Faucet Sticks	D	MEP/FP	Plumbing	No	Repair faucet. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$260			\$260	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
146	Exterior. Standby and Emergency Power	Z	MEP/FP	Electrical	No	Generator shall be maintained annually and exercised weekly. Since this item includes maintenance and testing only, no cost is being carried. - <i>Maintenance Items</i>					
147	Boiler Room. Water Heater Age	C	MEP/FP	Plumbing	No	Replace water heater. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$120,750			\$120,750	
148	Office. Panic Switch	D	*Security	Electrical	No	Provide panic switch connected with the Holden Police Department. - <i>Elective Improvement (Not Part of Project)</i>	\$1,500			\$1,500	
149	Exterior, to the right of the building.. Fence and Gate Damage	D	Site	Site	No	Repair the posts. - <i>Exterior Renovation (Schools)</i>			\$3,780	\$3,780	
Subtotal for Dawson Elementary School:							\$377,670	\$5,404,120	\$1,079,900	\$6,861,690	\$15,600

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		

**DAWSON POOL COMPLEX**

Square Footage:

150	Bathroom Building. Siding Aged (Bathroom Building)	D	Envelope	Finishes (Exterior)	No	Replace siding in 5 years. - Exterior and Interior Renovation (Various Buildings)		\$35,100		\$35,100	
151	Life Guard Building (East). Siding Aged (Life Guard Building)	D	Envelope	Finishes (Exterior)	No	Replace siding. - Exterior and Interior Renovation (Various Buildings)		\$26,330		\$26,330	
152	Main Building. Trim Board Condition	D	Envelope	Finishes (Exterior)	No	Replace trim boards with PVC. - Exterior and Interior Renovation (Various Buildings)		\$11,700		\$11,700	
153	Entire building. Scuffs on Walls	D	Interior	Finishes (Interior)	No	Paint walls. - Exterior and Interior Renovation (Various Buildings)			\$84,000	\$84,000	
154	Second Floor. VCT Tile Damage	B	Interior	Finishes (Interior)	No	Remove VCT. Paint concrete or install epoxy floor. - Exterior and Interior Renovation (Various Buildings)		\$20,480		\$20,480	
155	Pool Heater Gas Piping. Drip and Sediment Trap Leg Incorrect	B	MEP/FP	Plumbing	Yes	Repipe without sediment trap. - MEP Improvements (Various Buildings)	\$860			\$860	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
156	Main Service, Pump House. Electric Room Clear Space Violations	A	MEP/FP	Code (Depends on Other Work)	Yes	Clean storage items out of electric room and Mark floor with paint and provide signs indicating clear space requirements. Since this line item includes cleaning and paint or caution tape, no cost is included. - <i>Maintenance Items</i>	\$1,040			\$1,040	
157	Entire Building. Fire Alarm	C	MEP/FP	Fire Alarm	No	Replace fire alarm system in its entirety with a new addressable system. - <i>MEP Improvements (Various Buildings)</i>		\$97,500		\$97,500	
158	Pool Equipment Room. Hose Connections Issues	A	MEP/FP	Plumbing	Yes	Install vacuum breakers on all hose bibbs / hose connections. - <i>MEP Improvements (Various Buildings)</i>	\$1,040			\$1,040	
159	Second Floor Multipurpose Room. Kitchen Sink	C	MEP/FP	Plumbing	No	Install a solids interceptor under the sink in lieu of a p-trap. - <i>MEP Improvements (Various Buildings)</i>		\$980		\$980	
160	Pool Equipment Room. No Water Supply Backflow Preventer	A	MEP/FP	Plumbing	Yes	Install a backflow preventer. - <i>MEP Improvements (Various Buildings)</i>	\$1,730			\$1,730	
161	Pool Heater Area. Pool Heater Age	Z	MEP/FP	HVAC	No	No work required at this time, see comments. - <i>Noted for Information (Not Part of Project)</i>					



**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
162	Exterior. Receptacles Covers Not Waterproof	E	MEP/FP	Electrical	No	Replace exterior receptacle covers with waterproof while-in-use type. - <i>MEP Improvements (Various Buildings)</i>	\$3,000			\$3,000	
163	Roof mounted exhaust fan. Roof Fan Age	C	MEP/FP	HVAC	No	The exhaust fan is necessary for the operation of the building. The life of a centrifugal fan is 25 years with normal usage. The fan operates in the summer months only and will have an extended life. Therefore, no work required at this time. - <i>Noted for Information (Not Part of Project)</i>					
164	Water Heater Room. Water Heater Age	A	MEP/FP	Plumbing	Yes	Replace water heater. - <i>MEP Improvements (Various Buildings)</i>	\$129,380			\$129,380	
Subtotal for Dawson Pool Complex :							\$137,050	\$192,090	\$84,000	\$413,140	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year <i>(Total Project Cost)</i>			Subtotal	Cost <i>(Triggered by Code)</i>
							1-3	4-7	8-10		
EAGLE LAKE BATH HOUSE										Square Footage:	600 SF
165	ADA Toilet Room. Toilet Not Accessible	E	Code	Accessibility (Depends on Other Work)	No	Replace the toilet with an accessible toilet. - <i>MEP Improvements (Various Buildings)</i>					\$6,830
166	Entire Building. Paint (Exterior and Interior)	D	Interior	Finishes (Interior)	No	Repaint the building. - <i>Exterior and Interior Renovation (Various Buildings)</i>		\$10,080		\$10,080	
167	Exhaust Fans. Building Ventilation Fan Age	Z	MEP/FP	HVAC	No	No work required at this time. - <i>Noted for Information (Not Part of Project)</i>					
168	Exterior. Exterior Lighting Issues	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - <i>MEP Improvements (Various Buildings)</i>		\$117,000		\$117,000	
169	Entire Building. Interior Lighting Issues	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - <i>MEP Improvements (Various Buildings)</i>		\$17,550		\$17,550	
170	ADA bathroom. Lavatory Piping Insulation Missing	A	MEP/FP	Plumbing	Yes	Install insulation. - <i>MEP Improvements (Various Buildings)</i>		\$3,740		\$3,740	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
171	Entire Building. Lighting Controls	D	MEP/FP	Lighting	No	Provide occupancy sensors. - MEP Improvements (Various Buildings)		\$10,350		\$10,350	
172	Men's Room. Missing Clean Out Plug	A	MEP/FP	Plumbing	Yes	Install new clean-out plug. - MEP Improvements (Various Buildings)	\$750			\$750	
173	Entire Building. No Emergency Egress Lighting	A	MEP/FP	Emergency Lighting	Yes	Provide exit signs, emergency battery units and remote heads with LED units. - MEP Improvements (Various Buildings)	\$7,250			\$7,250	
174	Entire Building. No Fire Alarm	Z	MEP/FP	Fire Alarm	No	No fire alarm is required, but property protection may be desired. - Noted for Information (Not Part of Project)					
175	Entire Building. Plumbing Fixture Traps Drying Out	A	MEP/FP	Plumbing	Yes	Use fixtures. Install electronic trap primers for floor drains. - MEP Improvements (Various Buildings)	\$7,500			\$7,500	
176	Utility Room. Water Heater	C	MEP/FP	Plumbing	No	Replace water heater. - MEP Improvements (Various Buildings)		\$4,500		\$4,500	
Subtotal for Eagle Lake Bath House:							\$19,240	\$149,400	\$10,080	\$178,720	\$6,830

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		

**GALE FREE LIBRARY**

Square Footage: 14,396 SF

177	Both Stairs. Handrails Not Code Compliant	E	Code	Accessibility (Depends on Other Work)	No	Replace handrails. - <i>Interior and Exterior Renovation (Gale Library)</i>					\$70,650
178	Third Floor. Men's and Women's Rooms Not Accessible	E	Code	Accessibility (Depends on Other Work)	No	If triggered by Code, renovate the bathrooms. - <i>Interior and Exterior Renovation (Gale Library)</i>					\$585,000
179	Building Envelope. Broken Stone Panel at North East Corner	A	Envelope	Masonry	Yes	Replace granite panel. - <i>Exterior and Minor Interior Renovation (Gale Library)</i>	\$22,530			\$22,530	
180	Newer Addition. Metal Roof Panel Damage	B	Envelope	Roofing	No	Replace the metal roof panels. - <i>Interior and Exterior Renovation (Gale Library)</i>		\$393,760		\$393,760	
181	Exterior of Old Wing. Minor Mortar Damage	D	Envelope	Masonry	No	Repoint masonry walls. - <i>Interior and Exterior Renovation (Gale Library)</i>			\$63,000	\$63,000	

### Capital Improvement and Maintenance Plan

#### COST PER YEAR CHART

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
182	Third Floor Tower Room. Water Damage Over Window	A	Envelope	Windows	Yes	Investigate leak and repair. This line item assumes it requires fixing the flashing over the window. Once done, repair the plaster and repaint. - <i>Exterior and Minor Interior Renovation (Gale Library)</i>	\$4,140			\$4,140	
183	Second Floor Ceiling and Walls. Water Infiltration (Atrium, Newer Addition)	B	Envelope	Finishes (Interior)	Yes	Replace roof in flat area. It is our understanding that as project to fix this is underway. Consequently, this line item will only include repairing the water damaged plaster and painting. - <i>Exterior and Minor Interior Renovation (Gale Library)</i>	\$45,030			\$45,030	
184	Children's Director's Office. Water Infiltration (Children's Dir. Office)	A	Envelope	Renovation (Multiple Types)	Yes	Investigate and repair the roof (slate roof above). Once complete, repair the plaster ceiling and repaint. - <i>Exterior and Minor Interior Renovation (Gale Library)</i>	\$15,010			\$15,010	
185	Original Building, 2nd Floor, by Main Entry. Window Cracked	C	Envelope	Windows	No	Replace glass. - <i>Exterior and Minor Interior Renovation (Gale Library)</i>	\$4,500			\$4,500	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
186	Exterior of Old Wing. Wood Windows Need Paint	D	Envelope	Finishes (Exterior)	No	Scrape and paint wood windows. - Exterior and Minor Interior Renovation (Gale Library)	\$75,040			\$75,040	
187	Entire Building. Carpet Worn	D	Interior	Finishes (Interior)	No	Replace carpet. - Interior Finish Improvements (Gale Library)		\$272,160		\$272,160	
188	Basement. Door Knobs Not Accessible	E	Interior	Accessibility (Depends on Other Work)	No	Replace door knobs with levers. - Interior and Exterior Renovation (Gale Library)					\$10,100
189	Over door to children's room. Glass in Transom Cracked	D	Interior	Windows	No	Replace broken glass. - Interior and Exterior Renovation (Gale Library)		\$2,250		\$2,250	
190	Interior, Multiple Locations. Multiple Plaster Cracks	D	Interior	Finishes (Interior)	No	Repair cracks and repaint. - Interior and Exterior Renovation (Gale Library)		\$43,880		\$43,880	
191	Various Locations. Paint Damage (Interior)	D	Interior	Finishes (Interior)	No	Repaint. In areas with water damage, repainting should happen after the water damage is corrected. - Interior Finish Improvements (Gale Library)		\$158,760		\$158,760	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
192	Main Stair. Rubber Stair Treads Lifting	B	Interior	Finishes (Interior)	Yes	Re-attach rubber treads. - <i>Maintenance Items</i>	\$2,250			\$2,250	
193	Roof. Air Cooled Condensing Unit Age	C	MEP/FP	HVAC	No	Replace the old condensing unit. - <i>Interior and Exterior Renovation (Gale Library)</i>		\$58,500		\$58,500	
194	Entire Building. Clock System	D	MEP/FP	Electrical	No	Remove existing clock system. - <i>Interior and Exterior Renovation (Gale Library)</i>			\$94,500	\$94,500	
195	Main Electric room. Electric Room Clear Space Violations	A	MEP/FP	Code (Depends on Other Work)	Yes	Clean storage items out of electric room and mark floor with paint and provide signs indicting clear space requirements. Since this line item includes cleaning and paint or caution tape, no cost is included. - <i>Maintenance Items</i>					
196	Elevator. Elevator	Z	MEP/FP	FYI	No	Noted for information. - <i>Noted for Information (Not Part of Project)</i>					
197	Entire Building. Emergency Egress Lighting	E	MEP/FP	Emergency Lighting	No	Replace exit signs, emergency battery units and remote heads with new LED units. Add additional units to meet current code. - <i>Interior and Exterior Renovation (Gale Library)</i>		\$56,160		\$56,160	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
198	Entire Building. Fire Alarm	C	MEP/FP	Fire Alarm	No	Replace fire alarm system in it's entirety with new addressable system. - <i>Exterior and Minor Interior Renovation (Gale Library)</i>	\$124,200			\$124,200	
199	Sprinkler Valve Room in Basement. Hydraulic Information Sign Missing	E	MEP/FP	Fire Protection	No	Add sign per NFPA-13. - <i>Interior and Exterior Renovation (Gale Library)</i>		\$2,250		\$2,250	
200	Entire Building. Interior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source - <i>Interior and Exterior Renovation (Gale Library)</i>		\$421,200		\$421,200	
201	Main Electric Room. Life Safety Code Violation (Junction Boxes)	B	MEP/FP	Electrical	No	Replace covers on junction boxes. - <i>Exterior and Minor Interior Renovation (Gale Library)</i>	\$1,500			\$1,500	
202	Main Electric Room. Life Safety Code Violation (MDP)	A	MEP/FP	Electrical	Yes	Provide blanks at MDP. - <i>Exterior and Minor Interior Renovation (Gale Library)</i>	\$1,500			\$1,500	
203	Roof. Roof Top HVAC Units Age	C	MEP/FP	HVAC	No	Replace the units. - <i>Interior and Exterior Renovation (Gale Library)</i>		\$218,400		\$218,400	



**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
204	Sprinkler Valve Room in Basement. Spare Sprinkler Box	E	MEP/FP	Fire Protection	No	Add spare sprinkler box per NFPA-123. - Exterior and Minor Interior Renovation (Gale Library)		\$2,250		\$2,250	
205	POU Water Heater in 2nd Floor. Water Heater Age (2nd Floor)	C	MEP/FP	Plumbing	No	Replace water heater. - Interior and Exterior Renovation (Gale Library)		\$7,500		\$7,500	
206	Water Heater in Basement. Water Heater Age (Basement)	C	MEP/FP	Plumbing	No	Replace water heater. A heat trap and expansion tank should also be installed at this time. - Interior and Exterior Renovation (Gale Library)		\$4,500		\$4,500	
Subtotal for Gale Free Library:							\$295,700	\$992,250	\$806,820	\$2,094,770	\$665,750

### Capital Improvement and Maintenance Plan

#### COST PER YEAR CHART

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year <i>(Total Project Cost)</i>			Subtotal	Cost <i>(Triggered by Code)</i>
							1-3	4-7	8-10		
HENDRICKS HOUSE										Square Footage:	1,644 SF
207	Kitchen. 2x2 Holes Cut In Ceiling	C	Interior	Finishes (Interior)	No	Repair hole with gypsum wallboard. - <i>Interior Finishes Upgrades (Historic)</i>	\$6,210			\$6,210	
208	Entire Building. Aged Paint	Z	Interior	Finishes (Interior)	No	Paint interior. - <i>Interior Finishes Upgrades (Historic)</i>	\$5,180			\$5,180	
209	Entire Building. Worn Floors	Z	Interior	Finishes (Interior)	No	Sand and refinish wood floors. - <i>Interior Finishes Upgrades (Historic)</i>	\$8,540			\$8,540	
210	Entire Building. Cloth Wire Insulation	C	MEP/FP	Electrical	No	Replace wiring with new. - <i>MEP Improvements (Historic)</i>	\$12,810			\$12,810	
211	Boiler. Condensing boiler combustion air intake	D	MEP/FP	HVAC	No	Install the combustion air intake fitting. - <i>MEP Improvements (Historic)</i>	\$440			\$440	
212	Basement. Damp conditions in the basement	D	MEP/FP	HVAC		Install a dehumidifier. - <i>MEP Improvements (Historic)</i>	\$3,760			\$3,760	
213	Basement. Domestic hot water	D	MEP/FP	Plumbing	No	Provide expansion tank. - <i>MEP Improvements (Historic)</i>	\$4,310			\$4,310	

### Capital Improvement and Maintenance Plan

#### COST PER YEAR CHART

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
214	Basement. Electric Service Equipment	C	MEP/FP	Electrical	No	Upgrade service equipment with new, sized to accommodate current and future loads. - <i>MEP Improvements (Historic)</i>		\$9,750		\$9,750	
215	Entire Building. Emergency Egress Lighting	E	MEP/FP	Emergency Lighting	No	Provide exit signs, emergency battery units and remote heads with LED units to meet current code. - <i>MEP Improvements (Historic)</i>	\$12,090			\$12,090	
216	Entire Building. Exposed BX and NM cable	E	MEP/FP	Electrical	No	Replace exposed cables with new concealed wiring methods. - <i>MEP Improvements (Historic)</i>					\$14,490
217	Exterior. Exterior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - <i>MEP Improvements (Historic)</i>		\$5,850		\$5,850	
218	Entire Building. Fire Alarm	Z	MEP/FP	Fire Alarm		Replace fire alarm system in it's entirety with new addressable system. - <i>MEP Improvements (Historic)</i>		\$23,390		\$23,390	
219	General. Fire Suppression System	Z	MEP/FP	Fire Protection	No	Since the building is less than 7,500 gsf, a sprinkler system may not be required. This should be reviewed at the beginning of any project at the building to determine if triggered. This line item assumes sprinklers will not be required. - <i>MEP Improvements (Historic)</i>					

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							1-3	4-7	8-10		
220	Basement. Former Boiler and Piping Concern	C	MEP/FP	HVAC	No	If hazardous materials are found the should be mitigation. The cost included in this item includes testing both, but does not include abatement. - <i>MEP Improvements (Historic)</i>	\$4,310			\$4,310	
221	Entire Building. Interior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - <i>MEP Improvements (Historic)</i>		\$43,450		\$43,450	
222	Entire Building. Knob and Tube Wiring	B	MEP/FP	Electrical	No	Replace knob and tube wiring with NM-B or MC cable. - <i>MEP Improvements (Historic)</i>	\$17,080			\$17,080	
223	2nd floor bathroom. Lavatory Waste	E	MEP/FP	Plumbing	No	Install a properly trapped and vented waste. - <i>MEP Improvements (Historic)</i>			\$1,540	\$1,540	
224	Entire Building. Lighting Controls	Z	MEP/FP	Lighting		Update the lighting control. - <i>MEP Improvements (Historic)</i>			\$7,790	\$7,790	
225	Basement. Oil Tanks	A	MEP/FP	Code (Depends on Other Work)	Yes	Remove oil tank. - <i>MEP Improvements (Historic)</i>	\$7,760			\$7,760	
226	Basement. Pipe Insulation	E	MEP/FP	Plumbing	No	Insulate hot and cold water piping. - <i>MEP Improvements (Historic)</i>		\$3,900		\$3,900	

### Capital Improvement and Maintenance Plan

#### COST PER YEAR CHART

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
227	Entire Building. Ungrounded Receptacles	C	MEP/FP	Electrical	No	Replace receptacles with grounded type. Will most likely require wire replacements. - <i>MEP Improvements (Historic)</i>		\$4,840		\$4,840	
Subtotal for Hendricks House:							\$82,490	\$67,790	\$32,720	\$183,000	\$14,490

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year <i>(Total Project Cost)</i>			Subtotal	Cost <i>(Triggered by Code)</i>
							1-3	4-7	8-10		
HENDRICKS HOUSE BARN										Square Footage:	676 SF
228	Exterior Walls. Rotted Damaged Windows	B	Envelope	Windows		Repair wood windows in place. - <i>Exterior Finishes Upgrades (Historic)</i>	\$6,040			\$6,040	
229	Entire Building. Siding in Poor Condition	A	Envelope	Finishes (Exterior)	Yes	Scrape and paint exterior wood. Selectively replace damaged clapboards. - <i>Exterior Finishes Upgrades (Historic)</i>	\$7,760			\$7,760	
230	Near Front Entry. Hole in Wood Floor	A	Interior	Finishes (Interior)		Repair plank flooring. - <i>Interior Finishes Upgrades (Historic)</i>	\$910			\$910	
231	Building Entrance. Improper Wiring Method to Barn	B	MEP/FP	Electrical	No	Replace feeder to barn using allowed wiring methods. - <i>MEP Improvements (Historic)</i>	\$7,760			\$7,760	
232	Entire Building. Interior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - <i>MEP Improvements (Historic)</i>		\$17,030		\$17,030	
233	At entrance. Broken Stoop Step	B	Site	Site	No	Replace with a concrete step. - <i>Exterior Finishes Upgrades (Historic)</i>	\$4,540			\$4,540	
Subtotal for Hendricks House Barn:							\$27,010	\$17,030		\$44,040	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
MAYO ELEMENTARY SCHOOL										Square Footage:	83,889 SF
234	Elevator. Elevator Walls and Floor Damage	D	<div>Elevator</div>	Elevator	<div>No</div>	Replace floor, walls and clear off ceiling. This may be possible to do through an elevator maintenance agreement. - <i>Maintenance Items</i>		\$2,250		<div>\$2,250</div>	
235	West Facade. Buckled Downspout and Clogged Drains	B	<div>Envelope</div>	Gutters and Downspouts	<div>Yes</div>	Replace one downspout and clear two drains - <i>Roofing, Gutters, and Downspouts (Schools)</i>		\$2,250		<div>\$2,250</div>	
236	South Facade. Caulking Failed	B	<div>Envelope</div>	Sealant (Exterior)	<div>Yes</div>	Remove and replace failed caulking - <i>Exterior Renovation (Schools)</i>		\$22,430		<div>\$22,430</div>	
237	West facade. CMU Crack	D	<div>Envelope</div>	Masonry	<div>No</div>	Repair crack with mortar. - <i>Exterior Renovation (Schools)</i>		\$5,240		<div>\$5,240</div>	
238	South Portion. Cracks in Wall, Flooring, and Hard Clings	B	<div>Envelope</div>	Finishes (Interior)	<div>Yes</div>	Repair the finish and add some additional control joints. - <i>Interior Finish Improvements (Schools)</i>		\$30,010		<div>\$30,010</div>	
239	East Facade. Gutter Joints Leaking	C	<div>Envelope</div>	Gutters and Downspouts	<div>No</div>	Replace existing gutters with seamless gutters. - <i>Roofing, Gutters, and Downspouts (Schools)</i>		\$97,490		<div>\$97,490</div>	

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**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
240	North Facade. Gutter Rivets Rusted	B	Envelope	Gutters and Downspouts	Yes	Replace gutters with continuous gutters. The cost of this line item is included in the line item "Gutter Joints Leaking". - <i>Roofing, Gutters, and Downspouts (Schools)</i>	\$3,740			\$3,740	
241	East Facade. Lintels Rusted	D	Envelope	Finishes (Exterior)	No	Remove rust with chemicals and paint exposed portion of lintel. - <i>Exterior Renovation (Schools)</i>		\$3,000		\$3,000	
242	West Facade. Masonry Efflorescence	B	Envelope	Masonry	Yes	Further investigation required. For the purposes of this line item, it is assumed that a stone band will need to be removed and flashing fixed prior to cleaning off the efflorescence. - <i>Exterior Renovation (Schools)</i>	\$7,500			\$7,500	
243	Southwest and Northeast Corner of Gym. Masonry Water Infiltration and Roof Issue	B	Envelope	Renovation (Multiple Types)	Yes	Repair the gutters to direct water to the nearest downspout. Once done, clean and repoint the masonry. - <i>Exterior Renovation (Schools)</i>	\$3,760			\$3,760	



**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
244	South Facade, Right of Pod Door. Masonry Water Infiltration Stain (Exterior)	D	Envelope	Renovation (Multiple Types)	No	Investigate for water intrusion and confirm if the interior rooms are affected. It is assumed the water is the result of incorrect flashing and sealant at the pilaster and that the gyp. board inside needs to be replaced and repainted. - <i>Exterior Renovation (Schools)</i>	\$10,350			\$10,350	
245	West Facade. Minor Masonry Surface Spalling	D	Envelope	Masonry	No	Repair the masonry. - <i>Exterior Renovation (Schools)</i>		\$7,500		\$7,500	
246	Various Locations. Precast Masonry Damage	C	Envelope	Masonry	No	Repair with mortar. - <i>Exterior Renovation (Schools)</i>	\$15,010			\$15,010	
247	East Facade. Sealant Failures	C	Envelope	Sealant (Exterior)	No	Remove and replace sealant. - <i>Exterior Renovation (Schools)</i>	\$75,030			\$75,030	
248	West Facade. Window Sashes Damaged	B	Envelope	Windows	Yes	Repair damaged sashes. - <i>Exterior Renovation (Schools)</i>	\$3,740			\$3,740	
249	Cafeteria and Kitchen. Crack in Sheet Vinyl and Quarry Tile Floors	D	Interior	Finishes (Interior)		Repair quarry tile and patch sheet vinyl as part of Finishes Project. Approximately half of the area is quarry tile and the other half sheet vinyl. - <i>Interior Finish Improvements (Schools)</i>		\$11,310		\$11,310	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

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							1-3	4-7	8-10		
250	Gym. Head Protection on 2 Backboards	D	Interior	Finishes (Interior)		Replace padding. - <i>Interior Finish Improvements (Schools)</i>	\$1,500			\$1,500	
251	Entire Building. Metal Door Frame Damage	D	Interior	Doors		None of the doors in this item are severe enough for frame replacement; however, they should continue to be watched. Repainting is included in line item "Paint Damage (Interior)". - <i>Interior Finish Improvements (Schools)</i>					
252	Boys Room 258. Mirror Damaged	D	Interior	Finishes (Interior)	No	Replace Mirror. - <i>Interior Finish Improvements (Schools)</i>	\$900			\$900	
253	Entire Building. Paint Damage (Interior)	C	Interior	Finishes (Interior)	No	Repaint. - <i>Interior Finish Improvements (Schools)</i>	\$662,200			\$662,200	
254	Gym Equipment Room. VCT Floor Damage	B	Interior	Finishes (Interior)		Replace the VCT flooring. - <i>Interior Finish Improvements (Schools)</i>		\$15,000		\$15,000	
255	Outside Room 276. Wall Tile Missing	D	Interior	Finishes (Interior)	No	Replace Tiles. - <i>Interior Finish Improvements (Schools)</i>	\$1,500			\$1,500	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

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							1-3	4-7	8-10		
256	Room 206B, IT Space. Air Conditioning Unit Not Operating	B	MEP/FP	HVAC	Yes	Have a service mechanic come to the school and repair the system. Since this is a maintenance item, no cost is being carried. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$0			\$0	
257	Boiler Room. Boiler Age Concern	Z	MEP/FP	HVAC	No	Replace the boilers. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>		\$90,000		\$90,000	
258	Boiler Room. Boiler Panels Rusting	C	MEP/FP	HVAC	No	Adjust the temperature reset ramp. Set the minimum return water temperature to be above 140° F. Check inner casing panel tightness of gasketing - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$3,760			\$3,760	
259	Fire Protection. Ceiling Tiles Missing	A	MEP/FP	Finishes (Interior)	YES	Re-install ceiling tiles. - <i>Interior Finish Improvements (Schools)</i>	\$3,000			\$3,000	
260	Entire Building. Clock System Issues	D	MEP/FP	Electrical	No	Replace clock system with new. - <i>MEP/FP Improvements (School) - Year 8 to 10</i>		\$87,750		\$87,750	
261	Women 204. Convector Issue	A	MEP/FP	HVAC	Yes	Repair/replace convector. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$5,250			\$5,250	

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							1-3	4-7	8-10		
262	Boiler Room. Domestic Cold Water Pressure Issue	A	MEP/FP	Plumbing	Yes	Adjust pressure reducing valve - MEP/FP Improvements (School) - Year 1 to 3	\$1,500			\$1,500	
263	Boiler Room. Domestic Hot Water Issues	A	MEP/FP	Plumbing	Yes	Install expansion tank on domestic hot water. - MEP/FP Improvements (School) - Year 1 to 3	\$3,740			\$3,740	
264	Room 117. Drinking Fountain Not Working	D	MEP/FP	Plumbing	No	Replace bubbler. - MEP/FP Improvements (School) - Year 1 to 3	\$7,500			\$7,500	
265	Electric rooms. Electric Room Clear Space Violations	A	MEP/FP	Code (Depends on Other Work)	Yes	Clean storage items out of electric room and Mark floor with paint and provide signs indicating clear space requirements. Since this line item includes cleaning and paint or caution tape, no cost is included. - Maintenance Items					
266	Elevator. Elevator	Z	MEP/FP	FYI		Noted for information. - Noted for Information (Not Part of Project)					
267	Exterior. Exterior Lighting	D	MEP/FP	Lighting	No	Replace HID exterior lighting with LED. - MEP/FP Improvements (School) - Year 8 to 10			\$1,190	\$1,190	

**Capital Improvement and Maintenance Plan**

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							1-3	4-7	8-10		
268	Staff 256, Classroom 239. Faucet Handle Missing	D	MEP/FP	Plumbing	No	Replace / Repair faucet. - MEP/FP Improvements (School) - Year 1 to 3	\$1,200			\$1,200	
269	Entire Building. Fire Alarm	C	MEP/FP	Fire Alarm	No	Replace fire alarm system in it's entirety with new addressable system. - MEP/FP Improvements (School) - Year 1 to 3		\$859,950		\$859,950	
270	Library. Floor Box Cover Issues (Library)	D	MEP/FP	Electrical	No	Remove and replace covers right away. - MEP/FP Improvements (School) - Year 1 to 3	\$750			\$750	
271	Pod commons. Floor Box Cover Issues (Pod Commons)	C	MEP/FP	Electrical	No	Replace the floor box covers with metal. - MEP/FP Improvements (School) - Year 1 to 3	\$3,000			\$3,000	
272	Boiler Room. Heating Hot Water Pumps	Z	MEP/FP	Plumbing	No	Replace the pumps. - MEP/FP Improvements (School) - Year 8 to 10			\$22,500	\$22,500	
273	First Floor. HV -4: Motor Side Panel is Missing	C	MEP/FP	HVAC	Yes	Replace/re-install panel. - MEP/FP Improvements (School) - Year 1 to 3	\$1,130			\$1,130	
274	Roof. Kitchen Exhaust Fan Cowl is Damaged	C	MEP/FP	HVAC	Yes	Replace the cowl. It may be possible that the service company can perform this work. - MEP/FP Improvements (School) - Year 1 to 3	\$2,250			\$2,250	

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							1-3	4-7	8-10		
275	Supply 239 A - Kiln. Leak at Kiln Vent Roof Penetration	A	MEP/FP	Roofing	Yes	Determine cause of and repair roof leak; likely re-install flashing. Once complete, repair GWB ceiling and repaint. - <i>Roofing, Gutters, and Downspouts (Schools)</i>	\$2,590			\$2,590	
276	North Side of Gym. Light Trim Missing	D	MEP/FP	Lighting		Replace the trim. - <i>MEP/FP Improvements (School) - Year 1 to 3</i>	\$750			\$750	
277	Entire Building. No Automatic Temperature Controls	D	MEP/FP	HVAC	No	Consider a central station building management system to control the HVAC equipment, at a minimum. - <i>Elective Improvement (Not Part of Project)</i>	\$450,000			\$450,000	
278	Classroom 273. Slow Sink Drain	C	MEP/FP	Plumbing	No	Snake drain. - <i>Maintenance Items</i>	\$750			\$750	
279	Exterior. Standby and Emergency Power	Z	MEP/FP	Electrical		Generator shall be maintained annually and exercised weekly. Since this item includes maintenance and testing only, no cost is being carried. - <i>Maintenance Items</i>					
280	Women's room. Standing Water	Z	MEP/FP	FYI	No	No action recommended. - <i>Noted for Information (Not Part of Project)</i>					

**Capital Improvement and Maintenance Plan**

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							1-3	4-7	8-10		
281	Second Floor Ceiling. Unit Heater Running Inappropriately	D	MEP/FP	HVAC	Yes	Adjust/repair unit heater controls. - MEP/FP Improvements (School) - Year 1 to 3	\$750			\$750	
282	Gym Storage. Unit Vent Damage	A	MEP/FP	HVAC	Yes	Repair unit ventilator. - MEP/FP Improvements (School) - Year 1 to 3	\$1,500			\$1,500	
283	Office. Panic Switch	D	*Security	Electrical	No	Provide panic switch connected with the Holden Police Department - Elective Improvement (Not Part of Project)					
284	North Side Corridor Exit. Concrete Stoop Sloped Incorrectly	A	Site	Site	No	Replace concrete stoop. - Exterior Renovation (Schools)		\$15,010		\$15,010	
285	South end. Missing Curb Cut	D	Site	Site		Provide a curb cut. - Exterior Renovation (Schools)		\$3,740		\$3,740	
Subtotal for Mayo Elementary School:							\$1,426,830	\$1,100,750	\$23,690	\$2,551,270	

**Capital Improvement and Maintenance Plan**

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							1-3	4-7	8-10		

**MUNICIPAL LIGHT DEPARTMENT**

Square Footage: 14,719 SF

286	Brick Exterior. Brick and Mortar Damage	C	Envelope	Masonry	No	Repoint selective areas. - <i>Masonry and Sealant Repairs (Municipal Light)</i>	\$7,500			\$7,500	
287	Brick Exterior. Sealant Cracked	C	Envelope	Sealant (Exterior)	No	Replace sealant at expansion joints. - <i>Masonry and Sealant Repairs (Municipal Light)</i>		\$2,250		\$2,250	
288	Lunch Room. Acoustical Tile Ceiling Stains	C	Interior	Renovation (Multiple Types)	No	Investigate leak if active. Repair roofing. Once done, replace stained tiles. - <i>Roof Repair and Limited Interior Repairs (Mun. Light)</i>	\$750			\$750	
289	Mechanical Room. Boiler Flue Water Infiltration Issue	C	MEP/FP	HVAC	No	There is staining in many locations on the boiler vent piping from what appears to be interior vent piping condensation. Seal the joints. Seal roof penetration. - <i>Roof Repair and Limited Interior Repairs (Mun. Light)</i>	\$1,500			\$1,500	
290	Mechanical Room. Boilers Age Concern	Z	MEP/FP	HVAC	No	Replace the boiler. - <i>MEP Improvements (Municipal Light)</i>			\$75,000	\$75,000	
291	Mechanical Room. Chilled Water Insulation and Separator	C	MEP/FP	HVAC	No	Insulate the pump bodies and repair the insulation on the air separator. - <i>Maintenance Items</i>	\$2,250			\$2,250	



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							1-3	4-7	8-10		
292	Mechanical Room. Chiller and Condensing Unit Age	Z	MEP/FP	HVAC	No	Replace the chiller and condensing unit. - <i>MEP Improvements (Municipal Light)</i>			\$112,490	\$112,490	
293	Elevator. Elevator	Z	MEP/FP	FYI	No	None at this time. - <i>Noted for Information (Not Part of Project)</i>					
294	Exterior. Exterior Lighting	D	MEP/FP	Lighting	No	Replace HID fixtures with new lighting with LED light source. - <i>MEP Improvements (Municipal Light)</i>			\$75,600	\$75,600	
295	Entire Building. Fire Alarm	C	MEP/FP	Fire Alarm	No	Replace fire alarm system in it's entirety with new addressable system - <i>MEP Improvements (Municipal Light)</i>			\$155,400	\$155,400	
296	Garage Bay. Floor Drain Clogged	C	MEP/FP	Plumbing	No	Clean out floor drain, snake piping. - <i>Maintenance Items</i>	\$750			\$750	
297	Bathrooms. Flush Valves	D	MEP/FP	Plumbing	No	Adjust flush valves. - <i>Maintenance Items</i>	\$750			\$750	
298	Garage Bay. Ice Machine Drain	D	MEP/FP	Plumbing	No	Re-pipe the ice machine drain to the exterior, or to the adjacent rainwater leader. See "Floor Drain Clogged" for floor drain issue. - <i>MEP Improvements (Municipal Light)</i>			\$3,750	\$3,750	

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							1-3	4-7	8-10		
299	Entire Building. Interior Lighting	Z	MEP/FP	Lighting	No	None at this time. - <i>Noted for Information (Not Part of Project)</i>					
300	Mechanical Room. No Domestic Hot Water Recirc	D	MEP/FP	Plumbing	No	Install hot water recirc loop. - <i>Elective Improvement (Not Part of Project)</i>		\$22,500		\$22,500	
301	Roof. Photovoltaic System	Z	MEP/FP	FYI		Noted for information. - <i>Noted for Information (Not Part of Project)</i>					
302	Lower Level Toilet Rooms and Locker areas. Roof Mounted Exhaust Fan Issue	D	MEP/FP	HVAC	No	Check to see if the fan is operational. It is assumed, it needs to be replaced. - <i>Maintenance Items</i>	\$7,500			\$7,500	
303	Exterior. Standby Power	Z	MEP/FP	Electrical	No	Generator shall be maintained annually and exercised weekly. Since this item includes maintenance and testing only, no cost is being carried. - <i>Maintenance Items</i>					
304	Mechanical Room. Water Heater Age	C	MEP/FP	Plumbing	No	Replace water heater. A heat trap, expansion tank and recirc loop should also be installed at this time. - <i>Water Heater Replacement (Municipal Light)</i>	\$5,250			\$5,250	

Capital Improvement and Maintenance Plan											
COST PER YEAR CHART											
#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year <i>(Total Project Cost)</i>			Subtotal	Cost <i>(Triggered by Code)</i>
							1-3	4-7	8-10		
Subtotal for Municipal Light Department:							\$26,250	\$24,750	\$422,240	\$473,240	

**Capital Improvement and Maintenance Plan**

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							1-3	4-7	8-10		

**PUBLIC SAFETY BUILDING**

Square Footage: 24,898 SF

305	Booking Area (Police Station). Stains on Secure Metal Ceiling	Z	Interior	Renovation (Multiple Types)	No	Have plumber find and repair leaks. Once repaired, replace stained metal ceiling. - <i>Limited Interior &amp; Exterior Reno (Public Safety)</i>	\$2,290			\$2,290	
306	Mechanical Room. AHU-1 Chilled Water Piping Leak	C	MEP/FP	HVAC	Yes	Insulation should be cut away and the location of the leak determined and corrected. The insulation should then be replaced with new insulation. - <i>Limited Interior &amp; Exterior Reno (Public Safety)</i>	\$7,760			\$7,760	
307	Mechanical Room. AHU-1 Return Air Smoke Detector Question	B	MEP/FP	HVAC	Yes	Confirm all areas served by AHU-1 are served by area smoke detectors. If all areas are not protected by area smoke detectors, relocate the existing duct mounted smoke detector and add a second duct mounted smoke detector in the return duct of each floor prior to connection to the AHU-1 return riser. - <i>Limited Interior &amp; Exterior Reno (Public Safety)</i>	\$3,450			\$3,450	
308	Mechanical Room. Domestic Hot Water	A	MEP/FP	Plumbing	Yes	Install expansion tank. - <i>Limited Interior &amp; Exterior Reno (Public Safety)</i>	\$3,800			\$3,800	
309	Elevator. Elevator	Z	MEP/FP	FYI		Noted for information. - <i>Noted for Information (Not Part of Project)</i>					

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
310	Apparatus Bay. Extractor	E	MEP/FP	Plumbing	No	Install trench drain or standpipe. - <i>Limited MEP Improvements (Public Safety)</i>			\$11,340	\$11,340	
311	Entire Building. Fire Alarm	Z	MEP/FP	Fire Alarm		Noted for information. - <i>Noted for Information (Not Part of Project)</i>					
312	Entire Building. Interior Lighting	Z	MEP/FP	Lighting		Noted for information. - <i>Noted for Information (Not Part of Project)</i>					
313	Fire Protection. Quick Response Sprinklers	C	MEP/FP	Fire Protection	YES	Have sprinkler heads tested. - <i>Maintenance Items</i>			\$3,760	\$3,760	
314	Exterior. Standby and Emergency Power	Z	MEP/FP	Electrical		Generator shall be maintained annually and exercised weekly. This line item is noted for information and therefore does not carry a cost for maintenance or testing. - <i>Maintenance Items</i>					
Subtotal for Public Safety Building:							\$17,300		\$15,100	\$32,400	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year <i>(Total Project Cost)</i>			Subtotal	Cost <i>(Triggered by Code)</i>	
							1-3	4-7	8-10			
PUBLIC SAFETY BUILDING ANNEX											Square Footage:	
315	Hallway Near Front Entry (1st Floor). Suspected Roof Leak	B	Envelope	Roofing	Yes	Reconstruct 10'x20' areas at intersection. Ice and water shield inner, new shingles. - Limited Interior & Exterior Reno (Public Safety)	\$7,940			\$7,940		
316	Men's Room. Broken Toilet Seat	A	MEP/FP	Plumbing	No	Replace toilet seat. - Limited Interior & Exterior Reno (Public Safety)	\$90			\$90		
317	Boiler Room. Chimney Base Needs to be Cleaned	D	MEP/FP	HVAC	No	Shovel out the accumulated ash. - Maintenance Items	\$860			\$860		
318	Entire Building. Electrical Distribution	D	MEP/FP	Electrical	No	Trace and identify circuits, label equipment and remove any abandoned equipment. - Limited Interior & Exterior Reno (Public Safety)	\$3,760			\$3,760		
319	Entire Building. Emergency Lighting	E	MEP/FP	Emergency Lighting	No	Replace exit signs, emergency battery units and remote heads with new LED units. Add additional units to meet current code. - Limited Interior & Exterior Reno (Public Safety)	\$43,130			\$43,130		

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
320	Exterior. Exterior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - <i>Limited MEP Improvements (Public Safety)</i>			\$10,500	\$10,500	
321	Men's room. Faulty Flush Valve	A	MEP/FP	Plumbing	No	Repair/replace flush valve. - <i>Limited Interior &amp; Exterior Reno (Public Safety)</i>	\$1,210			\$1,210	
322	Entire Building. Fire Alarm	Z	MEP/FP	Fire Alarm		Noted for information. - <i>Noted for Information (Not Part of Project)</i>					
323	Entire Building. Interior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - <i>Limited Interior &amp; Exterior Reno (Public Safety)</i>		\$136,500		\$136,500	
324	Various Locations. Limited Ventilation in BSMT and TLT Rms	Z	MEP/FP	HVAC	No	No work required at this time. This should be monitored by the Town. - <i>Noted for Information (Not Part of Project)</i>					
325	Piping. No Pipe Insulation	D	MEP/FP	Plumbing	No	Insulate piping. - <i>Limited MEP Improvements (Public Safety)</i>			\$10,500	\$10,500	
326	Basement. Stand-by Generator has no Exhaust Louver	Z	MEP/FP	HVAC	No	No work required at this time; this is noted for the record since it will cause an increase in the building temperature when the generator runs. - <i>Noted for Information (Not Part of Project)</i>					

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
327	Lower level service bay. Standby Power	Z	MEP/FP	Electrical		Generator shall be maintained annually and exercised weekly. Since the suggested action is maintenance and regular testing, this line item does not include a cost. - <i>Maintenance Items</i>					
328	Storage Rm. Water Heater Age	B	MEP/FP	Plumbing	No	Replace Water Heater. - <i>Limited Interior &amp; Exterior Reno (Public Safety)</i>	\$7,760			\$7,760	
Subtotal for Public Safety Building Annex:							\$64,750	\$136,500	\$21,000	\$222,250	



**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		

**RECREATION BUILDING**

Square Footage: 3,769 SF

329	Basement Bathroom. Bathroom Not Accessible	E	Code	Accessibility (Depends on Other Work)	Yes	If triggered by Code, renovate the existing bathroom to make it accessible. It appears there may be sufficient room; however, relocating the floor mounted toilet and the shower drain may require slab work. - <i>Code Triggered Work (Recreation)</i>					\$29,250
330	Exterior doors. Corner Guards Peeling	D	Envelope	Finishes (Exterior)	No	Strip and paint steel corner guards - <i>Exterior and Interior Renovation (Various Buildings)</i>		\$1,490		\$1,490	
331	Roof. Gutter Damaged	D	Envelope	Gutters and Downspouts	No	Install snow rails. Once complete, install new gutter. - <i>Exterior and Interior Renovation (Various Buildings)</i>		\$5,260		\$5,260	
332	Basement. Basement Repurposing	Z	Interior	Renovation (Multiple Types)	No	The cost of this item is covered in other items identified by "**1". - <i>Elective Improvement (Not Part of Project)</i>					
333	Meeting Room. Carpet Worn (Meeting Room)	D	Interior	Finishes (Interior)	No	Replace the carpeting. - <i>Exterior and Interior Renovation (Various Buildings)</i>		\$4,390		\$4,390	

### Capital Improvement and Maintenance Plan

#### COST PER YEAR CHART

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
334	Corridors offices and toilet rooms. Ceiling Grid Dirty and Discolored	D	Interior	Finishes (Interior)	No	Replace ceiling grid. - <i>Elective Improvement (Not Part of Project)</i>			\$16,800	\$16,800	
335	Former cells. Cell Wall and Floor Damage	Z	Interior	Finishes (Interior)	No	Noted for information. If this area is ever renovated, it will need additional work to make it into office space (i.e. removal of the cell bars). - <i>Noted for Information (Not Part of Project)</i>					
336	Various Locations. CMU Wall Holes	D	Interior	Finishes (Interior)	No	Patch and paint the masonry. - <i>Exterior and Interior Renovation (Various Buildings)</i>		\$7,490		\$7,490	
337	Front left second office. Masonry Wall Crack	D	Interior	Finishes (Interior)	No	Repair the crack. - <i>Exterior and Interior Renovation (Various Buildings)</i>		\$3,740		\$3,740	
338	Meeting Room. Minors Cracks in Ceiling (Meeting Room)	D	Interior	Finishes (Interior)	No	Since it is a textured ceiling, repairs will be very visible. Consequently, this line item includes no cost since the cracks do not appear to be active. However, the Town should watch this in case the cracks increase. - <i>Noted for Information (Not Part of Project)</i>					

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
339	Basement. Paint Damage (Interior, Basement) *1	D	Interior	Finishes (Interior)	No	Repaint the basement walls. - <i>Elective Interior Renovation (Recreation)</i>					
340	Various Locations. Stained Ceilings (Various Locations)	B	Interior	Renovation (Multiple Types)	No	For the purpose of this item, it is assumed there are roof leaks and flashing issues, which should be repaired. Once fixed, the stained ceiling tiles should be replaced. - <i>Exterior and Limited Interior Renovation (Various)</i>	\$4,140			\$4,140	
341	Basement Floor. Stains on Floor (Basement) *1	D	Interior	Finishes (Interior)	No	Clean the concrete floor. Another option is to install new flooring such as VCT, which is not included in this item. Note: cleaning the concrete floor is not the same as having a polished concrete floor, which would cost more. - <i>Elective Interior Renovation (Recreation)</i>					
342	Server Room, Second Fl Storage Room. VCT Flooring Damage (Server Room)	D	Interior	Finishes (Interior)	No	Replace the VCT floor. - <i>Exterior and Interior Renovation (Various Buildings)</i>			\$3,750	\$3,750	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
343	Office. Baseboard Heater Disconnected	C	MEP/FP	HVAC	Yes	Connect heater pipe. - <i>MEP Improvements (Various Buildings)</i>	\$750			\$750	
344	Basement. Basement Ventilation Issues*1	Z	MEP/FP	HVAC	No	No work required at this time. If this area becomes used, the ventilation will need to be addressed. - <i>Elective Interior Renovation (Recreation)</i>					
345	Bathrooms. Bathroom Exhaust Vent	B	MEP/FP	HVAC	No	Remove wasp nest. Since this is a maintenance item, no cost is being carried. - <i>MEP Improvements (Various Buildings)</i>	\$0			\$0	
346	Basement Studio. Ceiling Mounted Fan Coil Unit Dirty	D	MEP/FP	HVAC	No	Clean the grill and filter. - <i>MEP Improvements (Various Buildings)</i>	\$750			\$750	
347	Mechanical Room. Domestic Hot Water No Recirc	D	MEP/FP	Plumbing	No	Install hot water recirc loop. - <i>Elective Improvement (Not Part of Project)</i>	\$22,500			\$22,500	
348	Entire Building. Electrical Distribution Mislabeled	D	MEP/FP	Electrical	No	Trace and identify circuits, label equipment and remove any abandoned equipment. - <i>MEP Improvements (Various Buildings)</i>	\$3,740			\$3,740	

Capital Improvement and Maintenance Plan

COST PER YEAR CHART

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
349	Exterior. Exterior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - <i>Exterior Lighting Upgrades (Recreation)</i>			\$25,200	\$25,200	
350	Entire Building. Fire Alarm Device Issue	E	MEP/FP	Fire Alarm	No	Relocate pull stations and A/V units as required to meet current code. - <i>MEP Improvements (Various Buildings)</i>	\$13,050			\$13,050	
351	Entire Building. Fire Suppression System	Z	MEP/FP	Fire Protection	No	Depending on the renovation level, a sprinkler system may be required. This item assumes one will be triggered. It is assumed a water source is nearby and can be easily accessed and connected. - <i>Code Triggered Work (Recreation)</i>					\$103,740
352	Basement. Generator Replacement Option	Z	MEP/FP	Electrical	No	This line item includes a new generator. - <i>Elective Improvement (Not Part of Project)</i>			\$225,000	\$225,000	
353	Basement. Generator Standby Power*1	D	MEP/FP	Electrical	No	Abate insulation and remove abandoned generator and equipment. If it is desired to provide a new generator, space is available. This may be advantageous since the IT department moved to this building. A new generator is included in the line item "Generator Replacement Option". - <i>Elective Interior Renovation (Recreation)</i>					

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
354	Entire Building. Interior Lighting	D	MEP/FP	Lighting	No	Replace older fixtures with new lighting with LED light source. Only currently occupied areas are included in this line item. - <i>MEP Improvements (Various Buildings)</i>		\$63,180		\$63,180	
355	Basement Electrical Room. Light Not Working*1	M	MEP/FP	Lighting	No	Replace bulb. - <i>Elective Interior Renovation (Recreation)</i>	\$380			\$380	
356	Roof. Photovoltaic System	Z	MEP/FP	FYI	No	Noted for information. - <i>Noted for Information (Not Part of Project)</i>					
357	Main floor bathrooms. Piping Insulation Missing	E	MEP/FP	Plumbing	No	Install insulation under ADA lavs. - <i>Code Triggered Work (Recreation)</i>					\$1,950
358	Various Locations (Former Cells, Basement). Unused Plumbing Fixture Issues*1	B	MEP/FP	Plumbing	No	Remove unused cell and basement fixtures. Cap unused waste & vent piping. Remove unused water piping to prevent stagnation. - <i>Elective Interior Renovation (Recreation)</i>	\$6,630			\$6,630	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
359	Various Locations. Waste Piping Deterioration	D	MEP/FP	Plumbing	No	Remove unused fixtures and piping. Install new waste & vent piping. - <i>MEP Improvements (Various Buildings)</i>			\$4,500	\$4,500	
360	Water Heater. Water Heater Age	B	MEP/FP	Plumbing	Yes	Replace water heater and a section of piping. Install water heater on a pad. - <i>MEP Improvements (Various Buildings)</i>		\$9,750		\$9,750	
Subtotal for Recreation Building:							\$51,940	\$95,300	\$275,250	\$422,490	\$134,940

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year <i>(Total Project Cost)</i>			Subtotal	Cost <i>(Triggered by Code)</i>
							1-3	4-7	8-10		
SENIOR CENTER										Square Footage:	9,269 SF
361	Roof, left of entry. Asphalt Shingles Loose	B	Envelope	Roofing	Yes	Reposition and nail shingles in place. - Roof Repair and Limited Interior Repairs (Senior)	\$1,500			\$1,500	
362	South Side. Base Trim Damaged	D	Envelope	Finishes (Exterior)	No	Replace base trim. - Exterior Renovation (Senior Center)	\$2,240			\$2,240	
363	Entire Building. Dirty Siding	D	Envelope	Finishes (Exterior)	No	Wash siding. - Exterior Renovation (Senior Center)	\$36,280			\$36,280	
364	Roof left of entry. Ice Dam Evidence	A	Envelope	Roofing	No	Replace roof left of entry. The Town should consider adding in heat trace to help prevent future ice damming, which is not included in the cost of this item. - Roof Repair and Limited Interior Repairs (Senior)	\$3,760			\$3,760	
365	Roof left of entrance. Missing Ridge Vent Part	B	Envelope	Roofing	Yes	Replace damaged section of ridge vent. - Roof Repair and Limited Interior Repairs (Senior)	\$1,210			\$1,210	
366	South side. Paint Damage (Exterior)	B	Envelope	Finishes (Exterior)	Yes	Paint. - Exterior Renovation (Senior Center)	\$3,000			\$3,000	



**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
367	Low roof to right of entry. Roof Organic Growth	D	Envelope	Roofing	No	Clean roof with chemicals. - <i>Roof Repair and Limited Interior Repairs (Senior)</i>	\$15,090			\$15,090	
368	Office in back. Water Damage (Interior, Back Right)	C	Envelope	Renovation (Multiple Types)	Yes	Address roof leaks. Once fixed, replace the ceiling tiles. - <i>Roof Repair and Limited Interior Repairs (Senior)</i>	\$1,550			\$1,550	
369	Vestibule, adjacent Tlt Rm, & MPR. Water Damage (Interior, Front)	A	Interior	Renovation (Multiple Types)	Yes	Repair the roof leak. Once fixed, replace damaged ceiling tiles and gyp board and repaint. - <i>Roof Repair and Limited Interior Repairs (Senior)</i>	\$3,100			\$3,100	
370	Air conditioning units. Condensing Units and Warm Air Furnaces	Z	MEP/FP	HVAC	No	Replace condensing units and fan coil units. - <i>MEP/FP Improvements (Senior Center)</i>		\$52,650		\$52,650	
371	Main Service. Electric Equipment Clear Space Violations	A	MEP/FP	Code (Depends on Other Work)	Yes	Remove desk and mark floor with paint and provide signs indicting clear space requirements. Since this line item includes cleaning and paint or caution tape, no cost is included. - <i>Maintenance Items</i>	\$0			\$0	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
372	Entire Building. Emergency Lighting	E	MEP/FP	Emergency Lighting	No	Replace exit signs, emergency battery units and remote heads with new LED units. Add additional units to meet current code. - <i>MEP/FP Improvements (Senior Center)</i>					\$36,280
373	Toilet Rooms 174 and 175. Exhaust Fan Operation	C	MEP/FP	HVAC	No	Have a service technician determine why the fans are not running and repair or replace the fans. The cost of this item assumes the fans will need to be replaced. - <i>MEP/FP Improvements (Senior Center)</i>	\$15,000			\$15,000	
374	Exterior. Exterior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - <i>MEP/FP Improvements (Senior Center)</i>		\$217,630		\$217,630	
375	Entire Building. Fire Alarm	C	MEP/FP	Fire Alarm	No	Replace fire alarm system in it's entirety with new addressable system. - <i>MEP/FP Improvements (Senior Center)</i>		\$90,680		\$90,680	
376	Entire Building. Interior Lighting	Z	MEP/FP	FYI	No	Noted for information. - <i>Noted for Information (Not Part of Project)</i>					
377	Roof. Kitchen Hood Exhaust Fan	C	MEP/FP	HVAC	No	Determine cause and replace fan wheel if necessary. - <i>MEP/FP Improvements (Senior Center)</i>	\$2,250			\$2,250	

### Capital Improvement and Maintenance Plan

#### COST PER YEAR CHART

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
378	Unisex Bathroom. Lavatory Faucet Issue	M	MEP/FP	Plumbing	No	Service faucet. As a maintenance item, no cost is being carried. - <i>MEP/FP Improvements (Senior Center)</i>	\$0			\$0	
379	Men's Room, Women's Room. Lavatory Pulled Out	C	MEP/FP	Plumbing	No	Install sink with concealed arm carrier. - <i>MEP/FP Improvements (Senior Center)</i>		\$4,500		\$4,500	
380	Water Heater. No Expansion Tank	C	MEP/FP	Plumbing	No	Install expansion tank. This should be installed in conjunction with water heater replacement (see "Water Heater Age" item). - <i>MEP/FP Improvements (Senior Center)</i>	\$0			\$0	
381	Roof. Photovoltaic System	Z	MEP/FP	FYI		Noted for information. - <i>Noted for Information (Not Part of Project)</i>					
382	Sprinklers. Quick Response Sprinklers	C	MEP/FP	Fire Protection	No	Test a portion of sprinklers in accordance with NFPA-25. - <i>Maintenance Items</i>	\$0			\$0	
383	Exterior. Standby power	Z	MEP/FP	Electrical		Generator shall be maintained annually and exercised weekly. Since this item is maintenance and testing, no cost is carried. - <i>Maintenance Items</i>					

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
384	Roof. Warm Air Furnace Flues Rusting	C	MEP/FP	HVAC	No	Replace exterior portion of flues and paint. - <i>MEP/FP Improvements (Senior Center)</i>	\$7,500			\$7,500	
385	Water Heater. Water Heater Age	C	MEP/FP	Plumbing	No	Replace Water Heater. Also see "No Expansion Tank" item. - <i>MEP/FP Improvements (Senior Center)</i>	\$7,500			\$7,500	
386	Entry. Paving Settled	A	Site	Site	Yes	Clear drain, excavate, fill and re-pave. - <i>Exterior Renovation (Senior Center)</i>	\$7,500			\$7,500	
Subtotal for Senior Center:							\$68,960	\$403,980		\$472,940	\$36,280

### Capital Improvement and Maintenance Plan

#### COST PER YEAR CHART

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		

#### STARBARD BUILDING

Square Footage: 5,627 SF

387	First and Second Floors. Door Hardware Not Accessible	E	Code	Accessibility (Depends on Other Work)	Yes	Change door hardware. - Interior and Exterior Renovation (Starbard)					\$13,450
388	Stairs. Handrails Not Compliant	E	Code	Accessibility (Depends on Other Work)	No	Since it is a public building, a Code compliant handrail could be added to the wall and a variance obtained for the historic 'inner' balustrade. - Interior and Exterior Renovation (Starbard)					\$33,640
389	First and Second Floors. No Accessible Toilet Rooms	E	Code	Accessibility (Depends on Other Work)	Yes	If triggered by Code, the second floor toilet rooms must be made accessible. - Interior and Exterior Renovation (Starbard)					\$33,640
390	First and Second Floors. No Braille Signage	E	Code	Accessibility (Depends on Other Work)	Yes	ADA Signage must be installed. - Interior and Exterior Renovation (Starbard)					\$2,930
391	Exterior HC Ramp. Ramp Not Compliant	E	Code	Accessibility (Depends on Other Work)	No	Replace ramp as part of accessibility project. - Interior and Exterior Renovation (Starbard)					\$33,640

Capital Improvement and Maintenance Plan

COST PER YEAR CHART

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
392	Building. Aluminum Storm Windows Fair Condition	D	Envelope	Windows	No	When the wood windows are replaced, storm windows will no longer be needed. If the windows are restored, the need for storm windows should be evaluated. This item assumes the windows will be replaced without storm windows. - <i>Interior and Exterior Renovation (Starbard)</i>					
393	Basement. Basement Moisture Issue	C	Envelope	Site	No	Direct water away from the foundation. - <i>Interior and Exterior Renovation (Starbard)</i>	\$7,500			\$7,500	
394	Assessor's Office. Chimney Leak	B	Envelope	Masonry	Yes	The existing chimney cap must be repaired. - <i>Interior and Exterior Renovation (Starbard)</i>	\$3,760			\$3,760	
395	Entire Building. Wood Windows Fair to Poor Condition	D	Envelope	Windows	No	Replace all windows, which is carried in this line item. The Town may want to consider restoring the existing windows, which may have historic value. This would add cost. - <i>Interior and Exterior Renovation (Starbard)</i>	\$194,060			\$194,060	
396	Entire Building. Carpet in Poor Condition	D	Interior	Finishes (Interior)	No	Replace Carpet. - <i>Interior and Exterior Renovation (Starbard)</i>	\$58,480			\$58,480	
397	Third Floor. Ceilings Cracked	D	Interior	Finishes (Interior)	No	Repair and paint as part of a larger project. - <i>Structural Repairs (Starbard)</i>	\$4,750			\$4,750	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
398	Men's and Women's Rooms. Toilet Room Finishes in Poor Condition	D	Interior	Finishes (Interior)	No	Refinish as part of a large project to make toilet rooms accessible. - <i>Interior and Exterior Renovation (Starbard)</i>		\$117,000		\$117,000	
399	Exterior air conditioning equipment.. Air Cooled Condensing Units	C	MEP/FP	HVAC	No	Review the installation date of units. This item assumes they will need to be replaced within the next 10 years; their age should determine exactly when this is needed. - <i>MEP Improvements (Starbard)</i>			\$33,080	\$33,080	
400	3rd floor bathroom. Bathroom Appears Old	D	MEP/FP	Plumbing	No	Replace fixtures. - <i>MEP Improvements (Starbard)</i>			\$7,510	\$7,510	
401	Basement. Clearspace Violations	E	MEP/FP	Code (Depends on Other Work)	No	If service is upgraded in any way, this should be corrected. - <i>Interior and Exterior Renovation (Starbard)</i>			\$0	\$0	
402	Entire Building. Cloth Wire Insulation	C	MEP/FP	Electrical	No	Replace wiring with new. - <i>Interior and Exterior Renovation (Starbard)</i>	\$51,060			\$51,060	

### Capital Improvement and Maintenance Plan

#### COST PER YEAR CHART

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
403	Boiler Room. Communication Wiring over Vent Connector	C	MEP/FP	Electrical	No	Install wire ties to group and raise wiring away from hot vent connector. - <i>Interior and Exterior Renovation (Starbard)</i>	\$1,500			\$1,500	
404	Boiler Room. Domestic Water Supply	M	MEP/FP	Plumbing	No	Adjust PRV to limit water pressure to 80 psi. - <i>Interior and Exterior Renovation (Starbard)</i>	\$0			\$0	
405	Basement. Electric Service Equipment	C	MEP/FP	Electrical	No	Upgrade service equipment with new sized to accommodate current and future loads. - <i>Interior and Exterior Renovation (Starbard)</i>	\$64,690			\$64,690	
406	Elevator. Elevator	Z	MEP/FP	Elevator		Noted for information. - <i>Noted for Information (Not Part of Project)</i>					
407	Entire Building. Emergency Egress Lighting	E	MEP/FP	Emergency Lighting	No	Replace exit signs, emergency battery units and remote heads with new LED units. Add additional units to meet current code. - <i>Interior and Exterior Renovation (Starbard)</i>					\$54,890
408	3rd floor bathroom. Exhaust Fan	B	MEP/FP	HVAC	Yes	Vent fan to the exterior with 4" metal duct. - <i>Interior and Exterior Renovation (Starbard)</i>	\$5,350			\$5,350	
409	Men's Room. Exhaust Fan (Men's Room)	E	MEP/FP	HVAC	No	Install exhaust fan and vent to the exterior. - <i>MEP Improvements (Starbard)</i>		\$15,750		\$15,750	



**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
410	Women's Room. Exhaust Fan (Women's Room)	A	MEP/FP	HVAC	Yes	Replace exhaust fan. Install per electrical and mechanical codes. Vent to the exterior. - <i>Interior and Exterior Renovation (Starbard)</i>	\$12,940			\$12,940	
411	Exterior. Exterior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - <i>MEP Improvements (Starbard)</i>		\$9,450		\$9,450	
412	Entire Building. Fire Alarm	E	MEP/FP	Fire Alarm	Yes	Replace devices and wiring with new and add additional devices to meet current code. - <i>Interior and Exterior Renovation (Starbard)</i>					\$87,840
413	Entire Building. Interior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - <i>Interior and Exterior Renovation (Starbard)</i>		\$154,250		\$154,250	
414	3rd floor kitchen. Kitchen Sink	E	MEP/FP	Plumbing	No	Vent the sink in accordance with 248 CMR. - <i>MEP Improvements (Starbard)</i>		\$2,310		\$2,310	
415	Bathrooms. Lavatory Piping Not Insulated	A	MEP/FP	Plumbing	Yes	Install pipe insulation. - <i>Interior and Exterior Renovation (Starbard)</i>	\$1,210			\$1,210	
416	Boiler Room. Oil Tanks	A	MEP/FP	Code (Depends on Other Work)	Yes	Remove oil tank. - <i>Interior and Exterior Renovation (Starbard)</i>	\$7,500			\$7,500	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
417	Basement. Service Equipment Clear Space Violations	E	MEP/FP	Code (Depends on Other Work)	No	If service is upgraded in any way, this violation would need to be corrected. This line item assumes it will be upgraded sometime in the next ten years. - <i>Interior and Exterior Renovation (Starbard)</i>			\$22,540	\$22,540	
418	Boiler Room. Tub Sink Sump Pump	A	MEP/FP	Plumbing	No	Repalce sump pump. - <i>Interior and Exterior Renovation (Starbard)</i>	\$3,760			\$3,760	
419	Men's Room. Water Damage at Lavatory	C	MEP/FP	Plumbing	No	Seal behind lav, install a backsplash, or replace with a lav that has a backsplash. - <i>Interior and Exterior Renovation (Starbard)</i>	\$2,290			\$2,290	
420	Boiler Room. Water Heater	A	MEP/FP	Plumbing	Yes	Replace water heater and a section of piping. - <i>Interior and Exterior Renovation (Starbard)</i>	\$7,500			\$7,500	
421	Basement. Water Piping	C	MEP/FP	Plumbing	No	Insulate piping. - <i>Interior and Exterior Renovation (Starbard)</i>			\$6,750	\$6,750	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
422	Roof and Floor Framing. Structural Issues (Additional Investigation Needed)	A	Structural	Structural	Yes	Provide temporary shoring as a short-term solution for the roof. A permanent solution is needed both for the roof and the flooring. However, most of the existing structure is hidden in finished walls; therefore, a full investigation and design is needed to determine a cost. Consequently, this line item does not carry a cost. - <i>Structural Repairs (Starbard)</i>	\$0			\$0	
Subtotal for Starbard Building:							\$426,350	\$271,250	\$97,390	\$794,990	\$260,030

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year <i>(Total Project Cost)</i>			Subtotal	Cost <i>(Triggered by Code)</i>
							1-3	4-7	8-10		
TOWN HALL										Square Footage:	7,020 SF
423	First Floor Corridor. Corridor Too Narrow (Accessibility)	E	Code	Accessibility (Depends on Other Work)	No	Confirm if a variance has been granted. If not, apply for a variance (cost of moving the wall outweighs the benefit). - <i>Interior and Exterior Renovation (Town Hall)</i>					\$0
424	Entire Building. Door Hardware Accessibility Concerns	Z	Code	Accessibility (Depends on Other Work)	No	Noted for information. - <i>Noted for Information (Not Part of Project)</i>					
425	East Side. Railings Not Compliant (Ramp)	E	Code	Accessibility (Depends on Other Work)		Replace railings - <i>Interior and Exterior Renovation (Town Hall)</i>					\$19,500
426	East, Rear Entrance. Railings Not Compliant (Rear Steps)	E	Code	Code (Depends on Other Work)	No	Replace the handrails. - <i>Interior and Exterior Renovation (Town Hall)</i>					
427	Second Floor Meeting Room Stage. Stage Not Accessible	E	Code	Accessibility (Depends on Other Work)	No	Confirm if a variance was previously granted. If not, apply for a variance and/or make the stage "employee only". - <i>Interior and Exterior Renovation (Town Hall)</i>					\$0

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
428	Front and Back of Building. Stairs Not Accessible	Z	Code	Accessibility (Depends on Other Work)	No	Confirm the stairs received a variance. If not, apply for a variance. - <i>Interior and Exterior Renovation (Town Hall)</i>					
429	First Floor Men's and Women's Toilet Rooms. Toilet Rooms Not Accessible	E	Code	Accessibility (Depends on Other Work)	No	Renovate the bathrooms to make them accessible. - <i>Interior and Exterior Renovation (Town Hall)</i>					\$390,000
430	Elevator. Elevator Wall Damage	D	Elevator	Elevator	No	Replace the interior wall panels. It may be possible that this could be done as part of an elevator maintenance agreement. - <i>Interior and Exterior Renovation (Town Hall)</i>			\$22,500	\$22,500	
431	Basement Ceiling. Ceiling Insulation Exposed to Moisture	C	Envelope	Insulation	Yes	Cover fiberglass batts with vapor barrier (i.e. Tyvek). - <i>Basement Water Corrections (Town Hall)</i>	\$11,250			\$11,250	
432	Front Columns. Column Base Settlement	C	Envelope	Site	No	Reposition the base. - <i>Interior and Exterior Renovation (Town Hall)</i>			\$3,750	\$3,750	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
433	Entire. Exterior Siding and Trim Paint Damage	D	Envelope	Finishes (Exterior)	No	Strip paint and repaint. - <i>Interior and Exterior Renovation (Town Hall)</i>		\$97,500		\$97,500	
434	Entire. Exterior Siding and Trim Wood Damage	D	Envelope	Finishes (Exterior)	No	Replace siding. - <i>Interior and Exterior Renovation (Town Hall)</i>		\$148,200		\$148,200	
435	West Side Fire escape. Fire Escape Doors (Meeting Room)	B	Envelope	Doors	Yes	Replace the doors with a wider door and sidelights. - <i>Interior and Exterior Renovation (Town Hall)</i>	\$5,250			\$5,250	
436	Top of Fire Escape. Fire Escape Doors (Stair to Balcony)	C	Envelope	Doors	No	Replace door and threshold. Repair water damaged interior. - <i>Interior and Exterior Renovation (Town Hall)</i>	\$3,740			\$3,740	
437	West Side, Exterior. Fire Escape Issues	E	Envelope	Finishes (Exterior)	No	Investigate and review replacement options. If remaining, at least strip and repaint (which is carried in this item). - <i>Interior and Exterior Renovation (Town Hall)</i>		\$0		\$0	
438	Front Entrance Doors. Front Entrance Not Accessible	D	Envelope	Accessibility (Depends on Other Work)	No	Confirm an accessibility variance was granted. If not, obtain a variance. - <i>Interior and Exterior Renovation (Town Hall)</i>		\$0		\$0	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
439	Front Exterior Stairs. Front Stair Issues (Exterior)	B	Envelope	Masonry	No	Disassemble the stairs and reinstall. - Interior and Exterior Renovation (Town Hall)		\$11,230		\$11,230	
440	Kitchen, Second Floor, Front Facade. Kitchen Window Adjustment	Z	Envelope	Windows	No	Noted for information. - Noted for Information (Not Part of Project)					
441	North Side Elevation (rear). Louver Damaged	B	Envelope	HVAC	No	Replace with a new metal louver. - Interior and Exterior Renovation (Town Hall)	\$3,740			\$3,740	
442	Exterior. Paint Deterioration (Exterior)	D	Envelope	Finishes (Exterior)	No	Strip the paint (likely using a chemical peel) and repaint. - Interior and Exterior Renovation (Town Hall)		\$67,700		\$67,700	
443	Entire Building. Roofing Deterioration	D	Envelope	Roofing	No	If confirmed, replace shingles. - Interior and Exterior Renovation (Town Hall)		\$22,630		\$22,630	
444	Basement Floor. Standing Water on Concrete and Dirt Floor	A	Envelope	Renovation (Multiple Types)	Yes	Determine the cause of the water infiltration (i.e. hydrostatic pressure, foundation leak, etc.). One potential solution is to provide a second sump pump, which is part of another item. - Basement Water Corrections (Town Hall)	\$0			\$0	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
445	Front of Building. Window Draft	D	Envelope	Windows	No	It is assumed that since these are historic windows, the Town would like to keep them. Consequently, there is no suggested action. If at sometime, the Town is willing, newer, thermally insulated windows could be installed. - <i>Interior and Exterior Renovation (Town Hall)</i>					
446	Basement. Basement Stairs Not Compliant	E	Interior	Code (Depends on Other Work)	No	Rebuild the stairs if triggered. - <i>Interior and Exterior Renovation (Town Hall)</i>					\$9,750
447	Entire Building. Carpet Worn	C	Interior	Finishes (Interior)	No	Replace the carpet. - <i>Interior and Exterior Renovation (Town Hall)</i>		\$108,990		\$108,990	
448	At the back of the First Floor Corridor. First Floor Corridor Door Issues	D	Interior	Doors	No	Scrape the edge of the door and frame, then repaint. Also, provide a door stop that prevents the handle from hitting the conduit. - <i>Interior and Exterior Renovation (Town Hall)</i>	\$2,250			\$2,250	
449	Second Floor in Room to Left of Stage. Floor Dips	C	Interior	Renovation (Multiple Types)	No	Remove the carpet and resecure the substrate (likely plywood). Reinstall carpet. - <i>Interior and Exterior Renovation (Town Hall)</i>		\$5,260		\$5,260	



**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
450	Kitchen. Flooring Material Concern	Z	Interior	FYI	Yes	If it is decided to replace the tiles, they should be tested for asbestos first to determine if abatement is needed. Since this item does not include replacement, no cost is being carried. - <i>Noted for Information (Not Part of Project)</i>	\$0			\$0	
451	Kitchen, Second Floor. Kitchen Cabinets and Countertop Worn	Z	Interior	Finishes (Interior)	No	Since this line item is elective, no cost is being carried. - <i>Elective Improvement (Not Part of Project)</i>					
452	Kitchen, Second Floor. Kitchen Ceiling Peeling	C	Interior	Finishes (Interior)	No	Provide a general exhaust fan, then scrape and paint the ceiling. - <i>Interior and Exterior Renovation (Town Hall)</i>		\$7,410		\$7,410	
453	Entire Building. Paint Deterioration (Interior)	D	Interior	Finishes (Interior)	No	Scrape and paint. - <i>Interior and Exterior Renovation (Town Hall)</i>		\$68,450		\$68,450	
454	Second Floor Meeting Room. Plaster Ceiling Damage	D	Interior	Renovation (Multiple Types)	No	Repair the roof leak. Repair the ceiling and repaint. - <i>Interior and Exterior Renovation (Town Hall)</i>	\$2,940			\$2,940	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
455	Front Entrance Vestibule/Stair. Wall Damage at FA Device	D	Interior	Finishes (Interior)	No	Repair plaster and paint. If possible, this should be part of a larger interior repainting project. - <i>Interior and Exterior Renovation (Town Hall)</i>			\$3,010	\$3,010	
456	Second Floor Elevator Lobby. Wall Damage at Second Fl. Elevator Lobby	D	Interior	Finishes (Interior)	No	Repaint all damaged walls. The cost of this item is included in line "Paint Deterioration (Interior)". - <i>Interior and Exterior Renovation (Town Hall)</i>	\$0			\$0	
457	Various Locations (Qty: 2). Wall/Ceiling Holes at Various Locations	D	Interior	Finishes (Interior)	No	Patch the wall and paint. - <i>Interior and Exterior Renovation (Town Hall)</i>		\$1,500		\$1,500	
458	Various Locations. Window Treatment Damage	M	Interior	Finishes (Interior)	No	Replace damaged blinds and shades. - <i>Interior and Exterior Renovation (Town Hall)</i>			\$7,560	\$7,560	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
459	Boiler Room. Boiler Age	C	MEP/FP	HVAC	No	The boiler needs to be replaced; however, there are several options. If replaced in kind (as carried here), replacement does not trigger additional work. However, they will not be efficient systems. Replacing with efficient systems requires upgrades throughout the building (i.e. radiators, piping, etc.). - <i>Basement Water Corrections (Town Hall)</i>	\$45,000			\$45,000	
460	Boiler Room. Boiler Piping Uninsulated	C	MEP/FP	HVAC	No	Insulate the piping. See also the Boiler Age item for this building. - <i>Basement Water Corrections (Town Hall)</i>	\$22,500			\$22,500	
461	Basement. Electric Service Equipment	C	MEP/FP	Electrical	No	Upgrade service equipment with new, sized to accommodate current and future loads. - <i>Interior and Exterior Renovation (Town Hall)</i>					
462	Elevator. Elevator	Z	MEP/FP	FYI		Noted for information. - <i>Noted for Information (Not Part of Project)</i>					
463	Entire Building. Emergency Egress Lighting	E	MEP/FP	Emergency Lighting	No	Replace exit signs, emergency battery units and remote heads with new LED units. Add additional units to meet current code. - <i>Interior and Exterior Renovation (Town Hall)</i>					

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
464	Men's Room. Exhaust Fan Volume	D	MEP/FP	HVAC	No	Replace wall exhaust fan. - Interior and Exterior Renovation (Town Hall)		\$4,500		\$4,500	
465	Exterior. Exterior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - Interior and Exterior Renovation (Town Hall)		\$81,900		\$81,900	
466	Entire Building. Fire Alarm	E	MEP/FP	Fire Alarm	Yes	Replace devices and wiring with new and add additional devices to meet current code. - Interior and Exterior Renovation (Town Hall)					\$41,060
467	Basement. Hot & Cold Water Piping Not Insulated	E	MEP/FP	Plumbing	No	Insulate Piping. - Interior and Exterior Renovation (Town Hall)			\$22,050	\$22,050	
468	Various Locations. Insulation Detaching	D	MEP/FP	HVAC	No	Secure the insulation. - Interior and Exterior Renovation (Town Hall)	\$2,240			\$2,240	
469	Entire Building. Interior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new vintage and task lighting with LED light source. - Interior and Exterior Renovation (Town Hall)			\$176,910	\$176,910	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
470	Second Floor Kitchen. Kitchen Faucet Hot Water Delay	D	MEP/FP	Plumbing	Yes	Install point of use electric water heater or recirc loop. This line item assumes the addition of a POU electric water heater. - <i>Interior and Exterior Renovation (Town Hall)</i>			\$3,750	\$3,750	
471	Second to Last, Rear Right Office (1st Fl). Light Fixture Missing Cover	D	MEP/FP	Lighting	No	Replace the cover. - <i>Interior and Exterior Renovation (Town Hall)</i>	\$750			\$750	
472	Basement. Open Storm Drain	E	MEP/FP	Plumbing	No	Clean out drain. - <i>Interior and Exterior Renovation (Town Hall)</i>			\$1,500	\$1,500	
473	Entire Building. Paint Damage (Interior, Radiators)	D	MEP/FP	Finishes (Interior)	No	Strip paint and repaint with flat paint. - <i>Interior and Exterior Renovation (Town Hall)</i>		\$11,700		\$11,700	
474	Bathrooms. Plumbing Fixtures Dated and Damaged	C	MEP/FP	Plumbing	No	Replace fixtures. - <i>Interior and Exterior Renovation (Town Hall)</i>		\$15,110		\$15,110	
475	Basement. Service Equipment Clear Space Violations	E	MEP/FP	Code (Depends on Other Work)	No	If service is upgraded in any way, this violation would need to be corrected. This line item assumes that some hot water pipe needs to be rerouted. - <i>Maintenance Items</i>					\$9,750

### Capital Improvement and Maintenance Plan

#### COST PER YEAR CHART

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
476	Building Heating System. Steam Trap Maintenance	M	MEP/FP	Plumbing	No	Contract with a vendor to provide yearly steam trap maintenance. Since this item includes starting a maintenance contract, no cost is being carried. - <i>Maintenance Items</i>	\$0			\$0	
477	Second Floor Rear Right Office. Time Clock Noise	D	MEP/FP	Electrical	No	Replace time clock with quieter unit. - <i>Interior and Exterior Renovation (Town Hall)</i>		\$2,240		\$2,240	
478	Basement. Unused Indirect Waste Pipe	A	MEP/FP	Plumbing	Yes	Cap unused sanitary piping. - <i>Interior and Exterior Renovation (Town Hall)</i>	\$2,250			\$2,250	
479	Basement. Unused Oil Tanks in Basement	A	MEP/FP	Code (Depends on Other Work)	Yes	Remove oil tanks. - <i>Interior and Exterior Renovation (Town Hall)</i>					\$19,500
480	Boiler Room. Water Heater Age	B	MEP/FP	Plumbing	Yes	Replace Water Heater. - <i>Interior and Exterior Renovation (Town Hall)</i>		\$7,500		\$7,500	
481	Basement. Wet Basement Conditions	C	MEP/FP	Renovation (Multiple Types)	Yes	Install a second sump pump and a dehumidifier. - <i>Basement Water Corrections (Town Hall)</i>	\$7,500			\$7,500	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
482	Entire. Roof Framing Damage	D	Structural	Structural	No	This should be investigated prior to determining a suggested action. This line item carries an allowance, but an estimate should be obtained once an investigation occurs and a design developed. - <i>Interior and Exterior Renovation (Town Hall)</i>		\$19,500		\$19,500	
Subtotal for Town Hall:							\$109,410	\$679,080	\$243,270	\$1,031,760	\$489,560

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		

**TROUT BROOK FUNCTION HALL**

Square Footage: 1,599 SF

483	Main Entrance to Enclosed Building. Entrance Not Accessible	E	Code	Accessibility (Depends on Other Work)	No	Renovate the entrance, which will include some grade work. - Exterior and Limited Interior Renovation (Various)					\$100,910
484	Front. Ramp at Open Structure Not Accessible	E	Code	Accessibility (Depends on Other Work)	No	If triggered by Code, provide handrails. - Exterior and Limited Interior Renovation (Various)					\$9,750
485	Rear and Rear Side Walls. Damaged Exterior Walls	B	Envelope	Finishes (Exterior)	No	Replace dampproofing. - Exterior and Limited Interior Renovation (Various)	\$16,560			\$16,560	
486	Various Locations (incl. Mechanical Room). Minor Roof Leak(s)	A	Envelope	Roofing	No	Repair the roof leaks. - Exterior and Limited Interior Renovation (Various)	\$4,140			\$4,140	
487	Roof of Open Structure. Roof Damage	M	Envelope	Roofing	No	Replace the roof. - Exterior and Limited Interior Renovation (Various)	\$98,330			\$98,330	



**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
488	Various Locations. Secondary Egress Hardware Not Accessible	E	Envelope	Accessibility (Depends on Other Work)	No	Replace with lever handles - <i>Exterior and Limited Interior Renovation (Various)</i>					\$1,350
489	Exterior, Various Locations. Window Paint Peeling (Large Windows)	C	Envelope	Windows	No	Repaint the windows. - <i>Exterior and Interior Renovation (Various Buildings)</i>		\$8,780		\$8,780	
490	Entire Building. VCT Floor Wear	D	Interior	Finishes (Interior)	No	Replace the VCT. - <i>Exterior and Interior Renovation (Various Buildings)</i>			\$30,240	\$30,240	
491	Building. Carbon Monoxide Sensors	A	MEP/FP	HVAC	Yes	Install plug in carbon monoxide sensors - <i>MEP Improvements (Various Buildings)</i>	\$290			\$290	
492	Entire Building. Emergency Egress Lighting	E	MEP/FP	Emergency Lighting	No	Provide exit signs, emergency battery units and remote heads with LED units to meet current code. - <i>MEP Improvements (Various Buildings)</i>		\$15,600		\$15,600	
493	Exterior. Exterior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - <i>MEP Improvements (Various Buildings)</i>	\$8,800			\$8,800	

**Capital Improvement and Maintenance Plan**

**COST PER YEAR CHART**

#	Location and Issue	Group Designation	System Category	Work Type	Urgent	Suggested Action and Recommended Project	Cost per Year (Total Project Cost)			Subtotal	Cost (Triggered by Code)
							1-3	4-7	8-10		
494	Entire Building. Fire Alarm	Z	MEP/FP	Fire Alarm	No	None at this time. - <i>Noted for Information (Not Part of Project)</i>					
495	Warm air furnace. Furnace Age	C	MEP/FP	HVAC	No	Replace with a new warm air furnace - <i>MEP Improvements (Various Buildings)</i>	\$12,940			\$12,940	
496	Entire Building. Interior Lighting	D	MEP/FP	Lighting	No	Replace fixtures with new lighting with LED light source. - <i>MEP Improvements (Various Buildings)</i>		\$43,680		\$43,680	
497	Entire Building. Lighting Controls	E	MEP/FP	Lighting	No	Provide occupancy control in spaces. - <i>MEP Improvements (Various Buildings)</i>		\$6,240		\$6,240	
498	Water Heater. Water Heater Age	C	MEP/FP	Plumbing	No	Replace Water Heater - <i>MEP Improvements (Various Buildings)</i>	\$7,500			\$7,500	
499	Well Pump. Well Pump	Z	MEP/FP	FYI	No	Noted for information. - <i>Noted for Information (Not Part of Project)</i>					
Subtotal for Trout Brook Function Hall:							\$148,560	\$74,300	\$30,240	\$253,100	\$112,010
<b>Total All Buildings:</b>										<b>\$22,328,320</b>	<b>\$12,510,750</b>

### **F.3 ISSUE DESCRIPTIONS CHART**

The chart on the following pages include a more complete description per issue; however, it does not provide cost information due to limited space.

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## Capital Improvement and Maintenance Plan

### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
<b>CHAFFINS SUB-STATION FIRE DEPARTMENT</b>						Square Footage: 13,740 SF			
1	Entire Building. No Accessible Hardware; <b>Noted for Information</b>	E	Code Accessibility (Depends on Other Work)	There is no accessible hardware in the building (i.e. door knobs instead of door levers).	If triggered by Code, replace the door hardware with accessible hardware. Note: if the building remains employee only, handicapped door hardware is not required by the MAAB.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2	Entire Building. Potential Fire Station Compliance Issues; <b>Elective Improvement</b>	E	Code Renovation (Multiple Types)	It was reported that this volunteer fire station will become a permanent one, in which case, it does not meet most typical fire station standards.	To make the building function better for the fire department, a significant renovation is needed. Additionally, if the attached adjacent building undergoes a major renovation, this portion may need to be replaced with a new building. This is noted for information; therefore, no cost has been assigned.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3	Exterior. Break Metal Fascia Screws Rusted; <b>Maintenance</b>	B	Envelope Finishes (Exterior)	The screws holding the break metal fascia in place have rusted.	Replace rusted screws.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4	Exterior, South. Masonry Crack; <b>Capital Repair or Modernization</b>	B	Envelope Masonry	There is a crack in the south masonry wall, which is visible both from the interior and the exterior.	Repair the crack.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5	Exterior Walls. No Insulation at Walls; <b>Capital Repair or Modernization</b>	D	Envelope Insulation	The exterior CMU wall likely does not have insulation, which may result in undesired temperatures.	If the building does not get replaced, the exterior walls could be furred out with insulation.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
6	Rear Left of Apparatus Bay. Partial Roof Collapse; <b>Capital Repair or Modernization</b>	A	Envelope Structural	Part of the metal deck and roofing have started to collapse.	Replace rusted metal deck and replace roofing (total roof approximately 20 ft x 68 ft).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7	Entire Building. Ceiling Worn; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	The ceiling is showing signs of age.	If the lights are replaced, the ceiling grid and tile should also be replaced.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8	Dayroom. Insufficient Lockers (Optional); <b>Elective Improvement</b>	Z	Interior FYI	Fire fighting gear and equipment is stored on hooks in the dayroom and can drip on the walls and floors.	This item is just noted for your information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9	Men's Room. Clean-out Plug; <b>Maintenance</b>	E	MEP/FP Plumbing	Sanitary clean-out is blocked by flooring.	Chip out flooring to provide access to clean-out.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10	Bottom of Stairwell. Electric Service Equipment; <b>Capital Repair or Modernization</b>	C	MEP/FP Electrical	400A Cutler Hammer disconnect serves various panels that serve the sub-station and other occupants of the building. Current code does not allow service equipment in stairwells.	Upgrade service equipment with new, sized to accommodate current and future loads, in a new electrical room with separate metering for different occupants.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Capital Improvement and Maintenance Plan

### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
11	Entire Building. Emergency Egress Lighting; <b>Capital Repair or Modernization</b>	E	MEP/FP Emergency Lighting	No exit signs or emergency lighting are present.	Provide exit signs, emergency battery units and remote heads with LED units to meet current code.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12	Exterior. Exterior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Exterior building mounted lighting consists of incandescent and HID fixtures.	Replace fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13	Entire Building. Fire Alarm; <b>Capital Repair or Modernization</b>	E	MEP/FP Fire Alarm	Simplex four zone fire alarm system is 20+ years old. Serves entire building.	Replace fire alarm system with new addressable system.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14	Entire Building. Insufficient Toilet Facilities; <b>Capital Repair or Modernization</b>	E	MEP/FP Code (Depends on Other Work)	The building only has one toilet room. Two, one per gender, are required by Code.	If triggered, provide a second toilet room.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15	Entire Building. Interior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Lighting consists of T12 fluorescent fixtures.	Replace fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

## Capital Improvement and Maintenance Plan

### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
16	Entire Building. No Exit Signs; <b>Capital Repair or Modernization</b>	E	MEP/FP Electrical	There are no exit signs.	Provide exit signs.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17	Entire Building. No Sprinklers; <b>Capital Repair or Modernization</b>	E	MEP/FP Fire Protection	The building does not have sprinklers.	Due to the size of the building, nearly any renovation will trigger the need to add sprinklers to the building. If the existing DPW portion remains (not demolished), the building exceeds 7,500 gsf and will require sprinklers (which is carried in this line item). If not, this will need to be re-evaluated.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18	Exterior. Standby Power; <b>Capital Repair or Modernization</b>	C	MEP/FP Electrical	Standby power for the whole building is provided by a Simplx diesel generator that has 1145 hours and is 50+ years old.	Replace generator due to age.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
19	Toilet Room. Toilet Room Fan ; <b>Capital Repair or Modernization</b>	C	MEP/FP HVAC	Toilet Room Fan is not operating.	Install a new fan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
<b>DAMON HOUSE</b>						Square Footage: 2,810 SF			
20	Entire Building, mostly Second Floor. Door Hardware Not Accessible (Knobs); <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	Most of the doors have knobs, which are not accessible.	Replace knobs with levers.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
21	Front and Rear Entry. Entry Not Accessible; <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	First Floor has 6 to 9 steps at both the back and the front.	If the building is to remain 'employee-only', no accessible entrance is required by the MAAB. However, if the public uses the building, then a ramp will need to be installed. This line item assumes the building will remain 'employee-only'.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
22	All floors (3). No Accessible Toilet Rooms; <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	None of the bathrooms (two existing on first and second floor, none on third) are accessible.	If the building is to remain 'employee-only', accessible toilet rooms are not required by the MAAB. This line item assumes that one bathroom will be upgraded. However, this should be reviewed at the beginning of any project to confirm required and viable number and locations for accessible toilet rooms.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
23	Entire building. No Accessible Vertical Circulation; <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	The only way to reach the first, second, and third floors are via stairs. There is no elevator or lift.	Do one of the following: 1) Provide an elevator or lift, or 2) Maintain the building as 'employee only', which the MAAB does not require to be accessible. The cost reflects option 2.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

## Capital Improvement and Maintenance Plan

### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
24	First Floor. No Braille Signage; <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	Signage in the building does not include braille.	If the building is maintained as 'employee-only', accessibility is not required by the MAAB. If this changes, accessible signage will be required.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25	Stairs. Non-Compliant Handrails; <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	The two stair do not have accessible handrails.	If the building is maintained as 'employee-only', accessibility is not required by the MAAB. If this changes, accessible handrails will be required.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
26	Roof. Asphalt Shingle Deterioration; <b>Capital Repair or Modernization</b>	B	Envelope Roofing	Especially at the low roof, the shingles are worn and algae is growing.	Temporary fix: clean; Permanent fix: replace the roofing. The cost associated with this item assumes the roof will be replaced.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
27	Multiple locations. Cracked Glass Storm Windows; <b>Maintenance</b>	C	Envelope Windows	At two locations, the glass storm window is cracked.	Replace damaged storm windows.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
28	Exterior. Foundation Masonry Items; <b>Maintenance</b>	D	Envelope Masonry	The masonry foundation is dirty and there are some holes that have been stuffed as a temporary measure to close up unused openings.	Remove stuffing (2 locations) and cover with siding. Clean masonry.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
29	Basement. No Insulation at Basement Ceiling; <b>Capital Repair or Modernization</b>	E	Envelope Insulation	There is no insulation between the basement and the first floor.	Add fiberglass batt insulation in first floor framing.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
30	Exterior. Paint Peeling (Exterior); <b>Capital Repair or Modernization</b>	B	Envelope Finishes (Exterior)	The paint is peeling off the exterior siding, trim, soffits, and other features	Scrape and paint all exterior painted surfaces.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
31	Exterior Steps and Porches (3 locations). Wood Deck Finish Deterioration; <b>Maintenance</b>	D	Envelope Finishes (Exterior)	The finish on the exterior steps and porches has faded.	Strip and refinish.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
32	Various Locations (Qty: +/-3). Wood Trim Holes; <b>Maintenance</b>	D	Envelope Finishes (Exterior)	There are a couple of locations where holes were made in the exterior trim that are currently unused.	Fill and cover the hole. Paint to match.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
33	Entire Building. Wood Windows in Poor Condition; <b>Capital Repair or Modernization</b>	D	Envelope Windows	Windows do not operate easily.	Replace windows including those in the unoccupied basement.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
34	Entire Building. Carpet in Poor Condition; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	The carpet is in poor condition.	Replace carpet.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
35	Entire building (interior). Paint Damage (Interior); <b>Capital Repair or Modernization</b>	C	Interior Finishes (Interior)	Cracks and scuff marks have appeared on the painted walls.	Repaint.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
36	Various Locations (i.e. Lobby). Wallpaper Damage; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	Some of the wallpaper is peeling.	Replace limited wallpaper in the building with paint.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
37	Basement. Boiler Combustion Air Intake Issue; <b>Maintenance</b>	D	MEP/FP HVAC	The combustion air intake/vent piping are missing a screened concentric fitting.	Install the combustion air intake fitting.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
38	Bathrooms. Dated Plumbing Fixtures; <b>Capital Repair or Modernization</b>	D	MEP/FP Plumbing	The plumbing fixtures are old.	Replace fixtures.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Capital Improvement and Maintenance Plan

### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
39	<i>Basement.</i> Domestic Water Piping Not Insulated; <b>Maintenance</b>	D	MEP/FP Plumbing	Piping is not insulated.	Insulate the piping.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
40	<i>Basement.</i> Electric Service Equipment; <b>Maintenance</b>	A	MEP/FP Electrical	Panelboard and junction boxes left open, creating code violation and safety hazard.	Replace covers on panelboard and junction box.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
41	<i>Entire Building.</i> Emergency Egress Lighting; <b>Capital Repair or Modernization</b>	E	MEP/FP Emergency Lighting	Exit signs and emergency egress lighting are incandescent and some battery units did not test OK. No emergency lighting is present outside the exterior egress doors.	Replace exit signs, emergency battery units and remote heads with new LED units. Add additional units to meet current code.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
42	<i>Bathrooms.</i> Exhaust Fan Exhaust Air Issue; <b>Capital Repair or Modernization</b>	D	MEP/FP HVAC	Bathroom exhaust fans are installed, but the vent locations on the exterior could not be located. They presumably vent to either the chimney or the attic.	Properly vent exhaust fans to the exterior.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
43	<i>Exterior.</i> Exterior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Exterior building mounted lighting consists of incandescent fixtures.	Replace fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
44	<i>Entire Building.</i> Fire Alarm; <b>Capital Repair or Modernization</b>	D	MEP/FP Fire Alarm	Control panel is a conventional 4 zone Fire-Lite FACP, initiating and notification are not to current code.	Replace fire alarm system with new.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
45	Entire Building. Interior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Lighting consists of incandescent and fluorescent fixtures. Several lamps are out.	Replace fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
46	First Floor Bathroom. Lavatory Damage; <b>Maintenance</b>	C	MEP/FP Plumbing	One lavatory is cracked and rusty.	Replace the damaged lavatory.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
47	Basement. No Expansion Tank (Boiler/Water Heater); <b>Maintenance</b>	A	MEP/FP Plumbing	The domestic hot water side of the combo unit should be provided with an expansion tank.	Provide expansion tank.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
48	Basement. Oil Tanks Abandoned; <b>Maintenance</b>	A	MEP/FP Code (Depends on Other Work)	Boiler was converted to gas in 2014, but the oil tanks remain.	Remove oil tank.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
49	Basement. Panelboard Clear Space Violations; <b>Maintenance</b>	A	MEP/FP Electrical	Space in front of panelboard is being used for storage.	Clean storage items out of clear space and mark floor with paint and provide signs indicating clear space requirements. Since this line item includes cleaning and paint or caution tape, the amount carried assumes minimal materials.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
50	Left Bay Window at Foundation. Erosion at Grade; <b>Maintenance</b>	D	Site Site	The ground around the foundation wall at the left bay window has eroded possibly from water, possibly from pests.	Refill holes, loam, and seed.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
<b>DAVIS HILL ELEMENTARY SCHOOL</b>						Square Footage: 77,271 SF			
51	<i>Sidewalk Near Garden.</i> Garden Curb Cut Missing; <b>Capital Repair or Modernization</b>	B	Code Accessibility (Depends on Other Work)	There is no curb cut leading to the student garden.	Install curb cut.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
52	<i>Outside Kindergarten and Rear Gym Exit.</i> Concrete Stoop and Exterior Door Issue; <b>Capital Repair or Modernization</b>	B	Envelope Site	Concrete pad at kindergarten room and rear gymnasium exit slopes towards door resulting in leaks into building.	Remove and replace concrete pad. This line item also includes replacing the hollow metal door and frame, which have rusted as a result of this issue.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
53	<i>Gymnasium at Far End Emergency Exit.</i> Door Opening Issue (Gym Emergency Exit); <b>Maintenance</b>	A	Envelope Doors	One 2'10" wide leaf of an emergency exit door does not open.	Replace the door and hardware.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
54	<i>Entire Building.</i> Downspout Drains Clogged; <b>Capital Repair or Modernization</b>	D	Envelope Plumbing	Some of the downspouts are backed up, which is likely the result of the perimeter drain system failing.	Replace underground drainage system. Following this work, ensure that the downspouts are clear.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
55	Outside Kitchen. Drain Outside Kitchen Clogged; <b>Maintenance</b>	D	Envelope Plumbing	The drain outside the kitchen is clogged.	Clear the drain. Since this is a maintenance item, no cost is being carried by this line item.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
56	Various Locations. Exterior Door Frames Rusting; <b>Maintenance</b>	D	Envelope Doors	Exterior door frames are hollow metal (not aluminium) and are showing early signs of rusting.	Treat and paint to extend the life of the frame.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
57	Entire Building. Exterior Wall Pack Lights Issues; <b>Maintenance</b>	C	Envelope Lighting	Wall packs in poor condition. Some are full of water; some have been replaced.	Replace lights.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
58	At Various Entries. Gutter Ends Sloped Incorrectly; <b>Maintenance</b>	B	Envelope Gutters and Downspouts	The ends of the gutters are not sloped correctly; therefore, water pools and eventually overflows leaving water staining on the exterior wall.	Detach and reattach the gutters with the correct slope.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
59	Entire Building. Gutters and Downspouts Seam Issues; <b>Maintenance</b>	D	Envelope Gutters and Downspouts	Gutters are not seamless. They leak at most joints and the connecting rivets and screws are rusting.	Repair and seal joints.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
60	Various Locations. Metal Cornice/Cove Joint Failure; <b>Maintenance</b>	C	Envelope Finishes (Exterior)	Limited locations (5-6) failed joints of metal cornice panels.	Resecure with rivets or screws.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
61	<i>Roof Drainage / Gutters.</i> Potential Ice Falling Damage; <b>Capital Repair or Modernization</b>	A	Envelope Roofing	Ice dams build and slide off the roof at the front entry causing, which is a hazard.	Clean gutters. Install ice melt system at gutter/roof. Install ice stops on roof.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
62	<i>Various Locations.</i> Roof Edge Resulting in Water Damage; <b>Capital Repair or Modernization</b>	C	Envelope Gutters and Downspouts	Where metal roofs abut side walls, runoff is saturating wall; all similar locations.	Install rain diverters.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
63	<i>Entire.</i> Roof Shingles; <b>Capital Repair or Modernization</b>	C	Envelope Roofing	Roof is showing earliest signs of wear. Reportedly not leaking; however, there were some interior locations that shows water staining.	Replace shingles.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
64	<i>Exterior Windows and Doors, Entire Building.</i> Sealant Aging; <b>Capital Repair or Modernization</b>	C	Envelope Sealant (Exterior)	The sealant is aging.	Replace in 5 to 10 years.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
65	<i>Entire Building.</i> Snow Guards; <b>Capital Repair or Modernization</b>	B	Envelope Roofing	Snow guards needed at many locations. Original adhered guards have come off.	Install new ridge-mounted guards.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
66	Front Entrance. Soffit Panel Joints; <b>Maintenance</b>	B	Envelope Finishes (Exterior)	The joints in the soffit panels are loose and need to be re-secured. Note: this is not significant, however, there could be wind damage.	Repair screws or rivets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
67	Various Locations. Carpet Wear and Tear; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	The Music Room and various classrooms with large area rugs have carpet that is worn.	Replace carpet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
68	Entire Building. Ceiling Tile Damage; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	There is moderate damage to ceiling tile throughout building; mostly chips, some stain.	Replace damaged ceiling tiles.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
69	Gym Entrance from the Corridor. Door Damage (Gym); <b>Maintenance</b>	B	Interior Doors	One leaf of pair of doors will not close.	Repair or replace doors. This line item assumes the door will be replaced.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
70	Backboards in Gym. Head Protection Missing or Hanging Off; <b>Maintenance</b>	D	Interior Finishes (Interior)	At one backboard, the padding on the bottom of the backboard is missing, and at another one, the padding is hanging off.	Install and correct the padding.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
71	Library. IT and Library Office Configuration; <b>Noted for Information</b>	Z	Interior FYI	This item is just to note that the library office is the IT equipment room and the kitchenette is used as the IT office as opposed to having a separate dedicated space.	No action recommended. Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
72	Entire Building. Paint Damage (Interior); <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	The paint is showing damage from typical school wear.	Repaint all walls, door frames, gyp soffits, etc.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
73	Stairs. Stair Tread Scuffs; <b>Maintenance</b>	D	Interior Finishes (Interior)	The stair treads are showing wear and tear.	Replace the rubber stair treads.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
74	Various Locations. VCT Flooring Damage; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	The VCT flooring is mostly in good shape except in storage rooms.	Replace the VCT.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
75	IT Room. AC Unit Not Working (IT Room); <b>Maintenance</b>	A	MEP/FP HVAC	AC unit not working.	Have service company make a service call to correct the operation of the unit. Since this is a maintenance item, no cost is being included.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
76	Bathrooms. Bathroom Floor Drains Issues; <b>Capital Repair or Modernization</b>	A	MEP/FP Plumbing	Floor drains are reported to have two problems. 1: the floor is pitched away from drains and 2: the floor drains are backed-up and clogged.	1: Re-pitch floors. 2: Have the sanitary piping scoped to determine the exact nature of the problem.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
77	Boiler Room. Boiler Age; <b>Capital Repair or Modernization</b>	Z	MEP/FP HVAC	The boilers will reach the end of their life within the next 5 to 10 years.	Evaluate the useful life. If as assumed, replace the boilers.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
78	Boiler Room. Boiler Flue Issue; <b>Capital Repair or Modernization</b>	B	MEP/FP HVAC	No drainage treatment.	Install chip tank / neutralizer.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
79	Boiler Room. Boiler Panels Rusting; <b>Capital Repair or Modernization</b>	C	MEP/FP HVAC	The side panels of the boilers were reported to be rusting from the inside due to condensation. Some panels needed to be custom made as replacements.	Adjust the temperature reset ramp. Set the minimum return water temperature to be above 140° F. Check inner casing panel tightness of gasketing. Since the repair of this item is dependent on the investigation of the gasketing, no cost is included.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
80	Various Locations. Ceiling Tiles Missing; <b>Capital Repair or Modernization</b>	A	MEP/FP Finishes (Interior)	Missing ceiling tiles allow smoke and heat from a fire to travel above the ceiling and delay sprinkler activation.	Reinstall ceiling tiles. The cost of this item is included in the "Ceiling Tile Damage" line item.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
81	Entire Building. Clock System; <b>Capital Repair or Modernization</b>	D	MEP/FP Electrical	Simplex Time clock system. Several clocks have failed and have been replaced with battery clocks.	Replace clock system with new.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
82	First Floor Laundry. Cloths Dryer Duct; <b>Maintenance</b>	A	MEP/FP HVAC	The dryer duct is improperly installed and terminated.	Install new dryer exhaust duct.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
83	Boiler Room. Domestic Hot Water; <b>Capital Repair or Modernization</b>	A	MEP/FP Plumbing	No expansion tank on domestic hot water system.	Install expansion tank on domestic hot water.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
84	Corridor 230. Drinking Fountain Not Working; <b>Maintenance</b>	B	MEP/FP Plumbing	One of the drinking fountains is not operational.	Replace / Repair drinking fountain.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
85	Electric Rooms. Electric Room Clear Space Violations; <b>Maintenance</b>	A	MEP/FP Code (Depends on Other Work)	Electric rooms are being used for storage that has gotten into the clear space at the electric equipment, which is against Code.	Clean storage items out of electric room and mark floor with paint and provide signs indicting clear space requirements. Since this line item includes cleaning and paint or caution tape, limited cost is carried for paint and tape.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
86	Elevator. Elevator; <b>Noted for Information</b>	Z	MEP/FP FYI	School has (1)20HP Dover elevator with 2 stops.	Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
87	Boys and Girls 174 and 175. Exhaust Fan Issue; <b>Maintenance</b>	C	MEP/FP HVAC	The appearance of returns/diffusers and odor suggests exhaust fan not operational.	Replace/repair exhaust fan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
88	Kitchen. Exhaust Fan Noise; <b>Capital Repair or Modernization</b>	D	MEP/FP HVAC	The exhaust fan is noisy.	Open the wall and put louver in wall.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
89	<i>Exterior.</i> Exterior Site Lighting Issues; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Exterior lighting is HID.	Replace HID exterior lighting with LED.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
90	<i>Entire Building.</i> Failed Refrigerant Line Insulation; <b>Maintenance</b>	B	MEP/FP HVAC	Insulation on refrigerant line has failed.	Replace insulation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
91	<i>Entire Building.</i> Fire Alarm; <b>Capital Repair or Modernization</b>	C	MEP/FP Fire Alarm	Simplex fire alarm system is 18 years old.	Replace fire alarm system in it's entirety with new addressable system.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
92	<i>Kitchen.</i> Freezer Condensation Damage; <b>Maintenance</b>	A	MEP/FP HVAC	Condensation from the freezer wall, due to an insulation issue, is draining off the wall and pooling on the floor of the corridor.	Freezer service company should provide sufficient insulation in the freezer walls to prevent condensation. Since this is a maintenance item, no cost has been associated with it.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
93	<i>Roof Drainage / Gutters.</i> Gutters Clogged; <b>Maintenance</b>	B	MEP/FP Gutters and Downspouts	The gutters are clogged and need to be cleaned. Some of the gutters are corroded or leaking down the façade of the building and must be repaired or replaced. Note: this is a separate issue from the "Downspout Drain Clogged" issue.	Repair/replace gutters as needed.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
94	Boiler Room. Heating Hot Water Pumps Age; <b>Capital Repair or Modernization</b>	Z	MEP/FP Plumbing	Age of pumps is of concern, and may be near the end of life.	Evaluate the useful life. This line item assumes they will need to be replaced within the next 10 years.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
95	Music Room. Hot Water Not Working (Music Room); <b>Maintenance</b>	B	MEP/FP Plumbing	The hot water at the classroom sink does not work.	Repair/replace faucet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
96	IT Room . IT Room Condensing Unit Not Working; <b>Capital Repair or Modernization</b>	A	MEP/FP HVAC	The condensing unit is not running. The top cover of condensing unit crushed and split.	Replace the unit and provide a protective cover so falling ice damage can be limited.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
97	Stairwell #3 Exit. Leaking Fan Coil Unit; <b>Maintenance</b>	A	MEP/FP HVAC	Appears to be active leak from fan coil unit.	Repair piping. Based on comments during our assessment, it is assumed this has already been repaired as part of a maintenance effort. Therefore, this line item will carry no cost.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
98	Boiler Room. P&T Relief Valve on Water Heater Missing; <b>Maintenance</b>	A	MEP/FP Plumbing	A P&T relief valve must be installed not only on the turbomax tank, but also on the domestic HW supply from the tank.	Install P&T relief valve.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
99	<i>Fire Protection.</i> Quick Response Sprinklers; <b>Capital Repair or Modernization</b>	A	MEP/FP Fire Protection	Quick Response Sprinklers were manufactured in 1999 and are required to be either tested or replaced after 20 years	Replace all sprinkler heads.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
100	<i>Air Cooled Condensing Units.</i> Refrigerant Piping; <b>Maintenance</b>	C	MEP/FP HVAC	The foam insulation on the refrigeration piping outside the building is deteriorating.	Reinsulate the refrigerant piping.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
101	<i>Storeroom across from the Kitchen.</i> Room Overheating; <b>Capital Repair or Modernization</b>	C	MEP/FP HVAC	The condensing units for the Kitchen refrigerated boxes are housed in a small space, which is overheating. Additionally, the fan exhausting the space is very noisy.	Reconfigure the combination louver and exhaust hood. Increase make-up air into the space.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
102	<i>Various Locations.</i> Several Light Fixtures Out; <b>Maintenance</b>	C	MEP/FP Lighting	Several fluorescent fixtures are out.	Replace lamps with new.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
103	<i>Exterior.</i> Standby and Emergency Power; <b>Maintenance</b>	Z	MEP/FP Electrical	Standby and emergency power is provided by a Olympian 125kW diesel generator that has 212 hours and is 18+ years old.	Generator shall be maintained annually and exercised weekly. Since the suggested action is maintenance and testing, this line item will carry no cost.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
104	Stair #2 First Floor. Wall mounted cabinet heater; <b>Maintenance</b>	A	MEP/FP HVAC	Cabinet heater appears to be leaking water.	Repair leak.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
105	Fire Protection. Water Supply Concerns; <b>Capital Repair or Modernization</b>	A	MEP/FP Fire Protection	Recent main drain test indicates a drop in residual pressure from 60 psi in previous years to 45 psi in July 2018.	Investigate water supply main for closed valves, possible blockages and changes to the municipal system.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
106	Office. Panic Switch; <b>Elective Improvement</b>	D	*Security Electrical	There is no panic switch connected to the Police Department.	Provide panic switch connected with the Holden Police Department.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
<b>DAWSON ELEMENTARY SCHOOL</b>						Square Footage: 59,178 SF			
107	Entire Building. Door Accessibility Issues ; <b>Other</b>	E	Code Accessibility (Depends on Other Work)	There is only about 6" from the pull side of door to the nearest obstruction (wall) at almost all classrooms and a few other doors.	No action recommended. If a project triggers accessibility improvements, apply for a variance since the walls are masonry and the cost significantly outweighs the benefit. Since applying for a variance includes no construction cost, no cost is included for this item.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
108	Exterior, Various Locations. Brick Staining; <b>Capital Repair or Modernization</b>	A	Envelope Masonry	Water is either getting into the soffit at a few locations or running along the underside of the soffit, then running down the brick and staining it.	Investigate the cause of the water and fix it. (This line item assumes it's failed sealant joints in the metal soffit.) Afterwards, clean the brick below.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
109	Exterior, Various Locations. Canopy Finish Damage; <b>Capital Repair or Modernization</b>	D	Envelope Finishes (Exterior)	Where there are metal canopies at entrances, the paint is worn and there are bird droppings.	Clean the canopies and repaint.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
110	Rear Side of Left Wing. Masonry Crack; <b>Maintenance</b>	C	Envelope Masonry	There is a crack through the masonry from soffit to foundation.	Repair the crack.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
111	Entire Roof. Roof Age Concern; <b>Capital Repair or Modernization</b>	B	Envelope Roofing	Many repairs and sealed seams. There are a couple of locations with standing water including over the health room area. Note: the EPDM roof is old, but well maintained.	Replace entire roof in 5-10 years. While replacing, add tapered insulation to help with standing water issues.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
112	<i>Exterior.</i> Sealant Failure at EIFS; <b>Capital Repair or Modernization</b>	B	Envelope Sealant (Exterior)	The sealant at the EIFS is starting to fall out.	Replace the sealant.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
113	<i>Exterior, Left of the Cafeteria.</i> Spray Foam Insulation Deteriorating; <b>Maintenance</b>	C	Envelope Insulation	A gap between a metal canopy and the wall was previously filled with spray foam insulation likely to prevent bugs from getting in. The insulation is started to deteriorate.	Replace the insulation.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
114	<i>Various Locations (Small Offices).</i> Carpet Worn; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	In areas with carpet, the carpet is slightly worn.	Replace the carpet.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
115	<i>Entire Building.</i> Ceiling Tiles Damage; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	Several ceiling tiles are stained throughout the building, which may be coming from a leaking room (see "Roof Age Concern").	Once the roof is replaced (see "Roof Age Concern"), replace the ceiling tiles. This should be done as part of the roof project.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
116	<i>Outside room #B55.</i> Door and Sidelight Frame Rusty; <b>Capital Repair or Modernization</b>	D	Interior Doors	The inside of the sidelight frame is rusted and there is a large hole in the frame.	Replace exterior door and sidelight frame with galvanized frame.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
117	Emergency Electrical Room (B39A). Door Hardware Missing (Emergency Elec.); <b>Maintenance</b>	D	Interior Doors	The door lockset on the Emergency Electrical Room door is missing.	Replace the lockset.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
118	Room B34. Door Missing; <b>Noted for Information</b>	Z	Interior Doors	The door to B34 has been removed.	It is assumed this is intentional, so this item is just for information and no cost is associated with it.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
119	Interior (Entire Building). Paint Damage (Interior); <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	The paint is showing typical wear and tear signs of an elementary school	Paint the interior.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
120	Near Entrance. Skylight Cardboard Frame; <b>Noted for Information</b>	Z	Interior Finishes (Interior)	In one of the skylights, there is a cardboard frame taped to the wall. It is not clear what this is for or if there is a problem it is trying to correct.	Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
121	Various Locations. VCT Damage; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	In general, the VCT flooring is in good condition except in storage rooms and electrical/mechanical closets.	Replace the VCT.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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122	<i>Various Locations.</i> Wall Base Missing (Limited Areas); <b>Maintenance</b>	D	Interior Finishes (Interior)	Some of the wall base is missing around the building.	Replace the wall base.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
123	<i>Corridors.</i> Wallpaper Detaching; <b>Maintenance</b>	D	Interior Finishes (Interior)	Some of the wallpaper is starting to detach.	Reattach/reglue the wallpaper.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
124	<i>Area of large skylight over library.</i> Water Damage from Roof; <b>Capital Repair or Modernization</b>	B	Interior Finishes (Interior)	There are 4 stained ceiling tiles below two roof drains, and moss growth at one drain. Drain covers are missing. (See also "Roof Age Concern".)	Replace the ceiling tiles and roof drain covers. (See also "Roof Age Concern".)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
125	<i>Gym.</i> Wood Stairs at Stage Worn; <b>Maintenance</b>	D	Interior Finishes (Interior)	The stair steps are worn.	Refinish the steps.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
126	<i>Boiler Room.</i> AHU-2 Condensate Leak; <b>Maintenance</b>	B	MEP/FP HVAC	Condensate leak. The drain appears to be clogged.	Clean condensate drain pan and condensate line.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
127	<i>Kitchen.</i> Bathroom Flush Valve (Staff, by Cafeteria); <b>Maintenance</b>	D	MEP/FP Plumbing	The kitchen employee bathroom toilet flush valve flows to much water and should be adjusted.	Adjust flush valve.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
128	<i>Bathrooms B-10 &amp; B-11.</i> Bathroom Flush Valves (by Cafeteria); <b>Capital Repair or Modernization</b>	E	MEP/FP Plumbing	Flush valves are dated and flow more water than allowed by today's codes (3.5 GPF).	Replaced flush valves and fixtures.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
129	<i>Boiler Room.</i> Boiler Panels Rusting; <b>Capital Repair or Modernization</b>	C	MEP/FP HVAC	The side panels of the boilers were reported to be rusting from the inside due to condensation. Some panels needed to be custom made as replacements.	Adjust the temperature reset ramp. Set the minimum return water temperature to be above 140° F. Check inner casing panel tightness of gasketing. Confirm there are no tube leaks. Since the solution depends on the result of the testing, this line item will carry no cost.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
130	<i>Boiler Room.</i> Boilers; <b>Capital Repair or Modernization</b>	Z	MEP/FP HVAC	The anticipated useful life of a fire tube steel boiler is 25 to 30 years. The boilers are approaching 20 years.	Replace the boilers.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
131	<i>Entire Building.</i> Clock System Issues; <b>Capital Repair or Modernization</b>	D	MEP/FP Electrical	Simplex Time clock system. Several clocks have failed and have been replaced with battery clocks.	Replace clock system with new.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
132	<i>Room B-36, Room C-20.</i> Drinking Fountain; <b>Maintenance</b>	D	MEP/FP Plumbing	Water fountain weeps/leaks or is not operational.	Replace the drinking fountain.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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133	<i>Electric rooms.</i> Electric Room Clear Space Violations; <b>Maintenance</b>	A	MEP/FP Code (Depends on Other Work)	Electric rooms are being used for storage.	Clean storage items out of electric room and mark floor with paint and provide signs indicting clear space requirements. Since this line item includes cleaning and paint or caution tape, no cost is included.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
134	<i>Roof, Various Fans.</i> Exhaust Fans Issues; <b>Capital Repair or Modernization</b>	B	MEP/FP HVAC	Several roof mounted exhaust fans required maintenance due to missing or unfastened covers, requiring lubrications, need for replacement belt, and lack of function. These should be investigated.	Investigate the fans to determine exact issue. If possible, repair them; otherwise, replace them. This line item assumes the fans will need replacement.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
135	<i>Roof. Exhaust Fans on Roof;</i> <b>Capital Repair or Modernization</b>	D	MEP/FP HVAC	Roof mounted exhaust fans	Replace fan. This line item assumes that the fans under item "Exhaust Fans Issues" are being addressed under that line item. The balance of fans equals 11.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
136	<i>Exterior. Exterior Lighting;</i> <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Exterior lighting is HID.	Replace HID exterior lighting with LED.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
137	<i>Entire Building. Fire Alarm Age;</i> <b>Capital Repair or Modernization</b>	C	MEP/FP Fire Alarm	Simplex fire Alarm system is 18 years old.	Replace fire alarm system in it's entirety with new addressable system.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
138	<i>Boiler Room. Hot Water Pumps Age;</i> <b>Capital Repair or Modernization</b>	C	MEP/FP Plumbing	The anticipated useful life of base mounted pumps is 20 to 25 years.	Replace units.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
139	Roof. Kitchen Cooler/Freezer Condensing Units; <b>Capital Repair or Modernization</b>	B	MEP/FP HVAC	Condensing units are in very poor shape.	Replace units.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
140	Roof. Kitchen Exhaust Fan EF-7; <b>Maintenance</b>	B	MEP/FP HVAC	The grease collector is broken.	Replace grease collector.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
141	Bathrooms C-20 & C-21. Plumbing Fixtures Age; <b>Capital Repair or Modernization</b>	D	MEP/FP Plumbing	Bathroom fixtures are dated.	Replace fixtures.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
142	Roof. Roof Mounted ACC Unit (#PFC027A); <b>Capital Repair or Modernization</b>	C	MEP/FP HVAC	Roof mounted Liebert unit, model #PFC027A is getting old and showing signs of wear.	Replace unit.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
143	Roof. Roof Mounted ACC Unit (#TTA060); <b>Capital Repair or Modernization</b>	A	MEP/FP HVAC	Roof mounted ACC unit Trane model #TTA060 is disconnected and not functional. It appears the replacement unit is already located on the roof but has not yet been connected. This is reported to be the case for the past year.	Replace unit.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



## Capital Improvement and Maintenance Plan

### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
144	Roof. Roof Mounted ACC Unit (#YCJD48); <b>Capital Repair or Modernization</b>	A	MEP/FP HVAC	Roof mounted ACC unit York model #YCJD48 is disconnected and not functional.	Replace unit.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
145	Nurse's Office. Sink Faucet Sticks; <b>Maintenance</b>	D	MEP/FP Plumbing	HW faucet sticks.	Repair faucet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
146	Exterior. Standby and Emergency Power; <b>Maintenance</b>	Z	MEP/FP Electrical	Standby and emergency power is provided by a Olympian 100kW diesel generator that has 432 hours and is 18+ years old.	Generator shall be maintained annually and exercised weekly. Since this item includes maintenance and testing only, no cost is being carried.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
147	Boiler Room. Water Heater Age; <b>Capital Repair or Modernization</b>	C	MEP/FP Plumbing	The water heater age is reaching its end of life.	Replace water heater.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
148	Office. Panic Switch; <b>Elective Improvement</b>	D	*Security Electrical	Office staff noted desire for silent panic switch under desk.	Provide panic switch connected with the Holden Police Department.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
149	Exterior, to the right of the building.. Fence and Gate Damage; <b>Maintenance</b>	D	Site Site	The fence and gate that is to the right of the school is damaged; the posts are leaning.	Repair the posts.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
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DAWSON POOL COMPLEX

Square Footage:

150	Bathroom Building. Siding Aged (Bathroom Building); <b>Capital Repair or Modernization</b>	D	Envelope Finishes (Exterior)	Upper siding showing its age.	Replace siding in 5 years.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
151	Life Guard Building (East). Siding Aged (Life Guard Building); <b>Capital Repair or Modernization</b>	D	Envelope Finishes (Exterior)	Siding showing its age.	Replace siding.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
152	Main Building. Trim Board Condition; <b>Capital Repair or Modernization</b>	D	Envelope Finishes (Exterior)	The trim boards may need to be replaced in 5 years.	Replace trim boards with PVC.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
153	Entire building. Scuffs on Walls; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	There are scuffs on the wall and some wear.	Paint walls.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
154	Second Floor. VCT Tile Damage; <b>Capital Repair or Modernization</b>	B	Interior Finishes (Interior)	In the office and adjacent storage room and toilet room, the VCT has popped off likely from temperature extremes on the glue.	Remove VCT. Paint concrete or install epoxy floor.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

## Capital Improvement and Maintenance Plan

### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
155	<i>Pool Heater Gas Piping.</i> Drip and Sediment Trap Leg Incorrect; <b>Maintenance</b>	B	MEP/FP Plumbing	Drip and sediment trap should not be installed on the gas supply to the pool heater. NFPA 54 2012 7.6.2	Repipe without sediment trap.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
156	<i>Main Service, Pump House.</i> Electric Room Clear Space Violations; <b>Maintenance</b>	A	MEP/FP Code (Depends on Other Work)	Electric room is being used as an office and for storage.	Clean storage items out of electric room and Mark floor with paint and provide signs indicating clear space requirements. Since this line item includes cleaning and paint or caution tape, no cost is included.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
157	<i>Entire Building.</i> Fire Alarm; <b>Capital Repair or Modernization</b>	C	MEP/FP Fire Alarm	Simplex 8 zone conventional fire alarm system, 15+ years old	Replace fire alarm system in its entirety with a new addressable system.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
158	<i>Pool Equipment Room.</i> Hose Connections Issues; <b>Capital Repair or Modernization</b>	A	MEP/FP Plumbing	Hose connections require a vacuum breaker.	Install vacuum breakers on all hose bibbs / hose connections.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
159	<i>Second Floor Multipurpose Room.</i> Kitchen Sink; <b>Capital Repair or Modernization</b>	C	MEP/FP Plumbing	This sink is used more as an art room sink than a kitchen sink, and therefore, has different requirements.	Install a solids interceptor under the sink in lieu of a p-trap.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
160	Pool Equipment Room. No Water Supply Backflow Preventer; <b>Capital Repair or Modernization</b>	A	MEP/FP Plumbing	There is no backflow preventer on the domestic feed to the pool equipment between the pool equipment and the domestic water supply to the remainder of the facility.	Install a backflow preventer.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
161	Pool Heater Area. Pool Heater Age; <b>Noted for Information</b>	Z	MEP/FP HVAC	The pool heater looks to be older than 5 years.	No work required at this time, see comments.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
162	Exterior. Receptacles Covers Not Waterproof; <b>Capital Repair or Modernization</b>	E	MEP/FP Electrical	Exterior receptacle covers are not waterproof while-in-use type.	Replace exterior receptacle covers with waterproof while-in-use type.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
163	Roof mounted exhaust fan. Roof Fan Age; <b>Noted for Information</b>	C	MEP/FP HVAC	The roof fan is 15 years old and provides exhaust for the toilet rooms and showers in the building.	The exhaust fan is necessary for the operation of the building. The life of a centrifugal fan is 25 years with normal usage. The fan operates in the summer months only and will have an extended life. Therefore, no work required at this time.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
164	Water Heater Room. Water Heater Age; <b>Capital Repair or Modernization</b>	A	MEP/FP Plumbing	Water heater is 15 years old and showing signs of corrosion and is actively leaking.	Replace water heater.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
<b>EAGLE LAKE BATH HOUSE</b>						Square Footage:		600 SF	
165	ADA Toilet Room. Toilet Not Accessible; <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	The toilet in the accessible toilet room is not accessible.	Replace the toilet with an accessible toilet.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
166	Entire Building. Paint (Exterior and Interior); <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	The paint will need to be refreshed within the next 10 years.	Repaint the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
167	Exhaust Fans. Building Ventilation Fan Age; <b>Noted for Information</b>	Z	MEP/FP HVAC	Fans provide exhaust for the toilet rooms and overall building heat ventilation. Although life span is +/- 15 years, since these are only used during the summer, they should last longer.	No work required at this time.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
168	Exterior. Exterior Lighting Issues; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Exterior building mounted lighting consists of HID fixtures.	Replace fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
169	Entire Building. Interior Lighting Issues; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Lighting consists of T12 fluorescent fixtures throughout the building.	Replace fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
170	ADA bathroom. Lavatory Piping Insulation Missing; <b>Capital Repair or Modernization</b>	A	MEP/FP Plumbing	No insulation on piping under ADA lav.	Install insulation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
171	Entire Building. Lighting Controls; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Lighting controls are provided by toggle switches.	Provide occupancy sensors.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
172	Men's Room. Missing Clean Out Plug; <b>Maintenance</b>	A	MEP/FP Plumbing	Clean-out plug missing from the floor clean-out.	Install new clean-out plug.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
173	Entire Building. No Emergency Egress Lighting ; <b>Capital Repair or Modernization</b>	A	MEP/FP Emergency Lighting	No exit signs or emergency lighting is present.	Provide exit signs, emergency battery units and remote heads with LED units.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
174	Entire Building. No Fire Alarm; <b>Noted for Information</b>	Z	MEP/FP Fire Alarm	No fire alarm system is present.	No fire alarm is required, but property protection may be desired.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
175	Entire Building. Plumbing Fixture Traps Drying Out; <b>Capital Repair or Modernization</b>	A	MEP/FP Plumbing	Traps are drying out due to lack of use.	Use fixtures. Install electronic trap primers for floor drains.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan									
ISSUE DESCRIPTIONS									
#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
176	Utility Room. Water Heater; <b>Capital Repair or Modernization</b>	C	<div>MEP/FP</div> <div>Plumbing</div>	Water heater is 12 years old, at the end of its useful life.	Replace water heater.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

## Capital Improvement and Maintenance Plan

### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
<b>GALE FREE LIBRARY</b>						Square Footage: 14,396 SF			
177	<i>Both Stairs.</i> Handrails Not Code Compliant; <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	The handrails on both the stairs (one in the newer addition and one in the original building) are not Code compliant.	Replace handrails.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
178	<i>Third Floor.</i> Men's and Women's Rooms Not Accessible; <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	The rooms are too small to be made accessible to current Codes. But there are accessible toilet rooms on the second floor (has elevator).	If triggered by Code, renovate the bathrooms.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
179	<i>Building Envelope.</i> Broken Stone Panel at North East Corner; <b>Capital Repair or Modernization</b>	A	Envelope Masonry	Granite panel has been smashed about 2' off the ground. Allows water into building.	Replace granite panel.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
180	<i>Newer Addition.</i> Metal Roof Panel Damage; <b>Capital Repair or Modernization</b>	B	Envelope Roofing	The metal roof panels are pitted and the damaged finish is allowing rusting.	Replace the metal roof panels.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
181	<i>Exterior of Old Wing. Minor Mortar Damage; Capital Repair or Modernization</i>	D	Envelope Masonry	There is minor mortar damage both in the old and new portions.	Repoint masonry walls.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
182	<i>Third Floor Tower Room. Water Damage Over Window; Capital Repair or Modernization</i>	A	Envelope Windows	Plaster arch over a window is stained and peeling.	Investigate leak and repair. This line item assumes it requires fixing the flashing over the window. Once done, repair the plaster and repaint.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
183	<i>Second Floor Ceiling and Walls. Water Infiltration (Atrium, Newer Addition); Capital Repair or Modernization</i>	B	Envelope Finishes (Interior)	There is a roof leak above the atrium in the newer addition.	Replace roof in flat area. It is our understanding that as project to fix this is underway. Consequently, this line item will only include repairing the water damaged plaster and painting.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
184	<i>Children's Director's Office. Water Infiltration (Children's Dir. Office); Capital Repair or Modernization</i>	A	Envelope Renovation (Multiple Types)	The ceiling of the Children's Director's Office has water damage. It is unclear, but could be caused by a roof leak.	Investigate and repair the roof (slate roof above). Once complete, repair the plaster ceiling and repaint.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
185	Original Building, 2nd Floor, by Main Entry. Window Cracked; <b>Maintenance</b>	C	Envelope Windows	One of the windows in the original building adjacent to the newer addition by the main entrance is cracked.	Replace glass.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
186	Exterior of Old Wing. Wood Windows Need Paint; <b>Capital Repair or Modernization</b>	D	Envelope Finishes (Exterior)	The paint on the wood windows in the original building has worn.	Scrape and paint wood windows.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
187	Entire Building. Carpet Worn; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	The carpet is showing signs of its age.	Replace carpet.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
188	Basement. Door Knobs Not Accessible; <b>Capital Repair or Modernization</b>	E	Interior Accessibility (Depends on Other Work)	Current codes require lever door handles.	Replace door knobs with levers.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
189	Over door to children's room. Glass in Transom Cracked; <b>Maintenance</b>	D	Interior Windows	The glass in the transom above the door to the children's room from the newer addition is broken.	Replace broken glass.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

## Capital Improvement and Maintenance Plan

### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
190	<i>Interior, Multiple Locations.</i> Multiple Plaster Cracks; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	There are multiple cracks in the plaster in the old building.	Repair cracks and repaint.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
191	<i>Various Locations.</i> Paint Damage (Interior); <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	The paint is damaged in various locations.	Repaint. In areas with water damage, repainting should happen after the water damage is corrected.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
192	<i>Main Stair.</i> Rubber Stair Treads Lifting; <b>Maintenance</b>	B	Interior Finishes (Interior)	The rubber treads on the stair are detaching.	Re-attach rubber treads.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
193	<i>Roof.</i> Air Cooled Condensing Unit Age; <b>Capital Repair or Modernization</b>	C	MEP/FP HVAC	There are two air cooled condensing units on the roof serving the two air handlers in the Boiler Room. One appears to be 20 years old and the other is approximately 15 years old.	Replace the old condensing unit.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
194	<i>Entire Building.</i> Clock System; <b>Capital Repair or Modernization</b>	D	MEP/FP Electrical	Simplex Time clock system. Control equipment is not powered.	Remove existing clock system.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
195	Main Electric room. Electric Room Clear Space Violations; <b>Maintenance</b>	A	MEP/FP Code (Depends on Other Work)	Electric room is being used for storage.	Clean storage items out of electric room and mark floor with paint and provide signs indicting clear space requirements. Since this line item includes cleaning and paint or caution tape, no cost is included.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
196	Elevator. Elevator; <b>Noted for Information</b>	Z	MEP/FP FYI	Building has (1) 20HP Montgomery elevator with 3 stops.	Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
197	Entire Building. Emergency Egress Lighting; <b>Capital Repair or Modernization</b>	E	MEP/FP Emergency Lighting	Exit signs and emergency egress lighting are incandescent and some battery units did not test OK. Some exit signs are paper. No emergency lighting is present outside the exterior egress doors.	Replace exit signs, emergency battery units and remote heads with new LED units. Add additional units to meet current code.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
198	Entire Building. Fire Alarm; <b>Capital Repair or Modernization</b>	C	MEP/FP Fire Alarm	Simplex 8 zone conventional fire alarm system, 25+ years old	Replace fire alarm system in it's entirety with new addressable system.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
199	Sprinkler Valve Room in Basement. Hydraulic Information Sign Missing; <b>Maintenance</b>	E	MEP/FP Fire Protection	The hydraulic information sign is missing.	Add sign per NFPA-13.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
200	Entire Building. Interior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Lighting consists of incandescent, fluorescent & HID fixtures	Replace fixtures with new lighting with LED light source	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
201	Main Electric Room. Life Safety Code Violation (Junction Boxes); <b>Maintenance</b>	B	MEP/FP Electrical	Junction boxes left open, creating code violation and safety hazard.	Replace covers on junction boxes.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
202	Main Electric Room. Life Safety Code Violation (MDP); <b>Maintenance</b>	A	MEP/FP Electrical	The main distribution panel (MDP) is missing blanks, creating a Code violation and safety hazard.	Provide blanks at MDP.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
203	Roof. Roof Top HVAC Units Age; <b>Capital Repair or Modernization</b>	C	MEP/FP HVAC	The two units appear to be similar in age. The Trane unit was installed in 2005 which making the unit 13 years old. Both units are about halfway through their useful life.	Replace the units.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
204	Sprinkler Valve Room in Basement. Spare Sprinkler Box; <b>Maintenance</b>	E	MEP/FP Fire Protection	Spare sprinkler box missing.	Add spare sprinkler box per NFPA-123.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
205	POU Water Heater in 2nd Floor. Water Heater Age (2nd Floor); <b>Capital Repair or Modernization</b>	C	MEP/FP Plumbing	Water Heater is 11 years old, at the end of its useful life and the extended warranty period is now over.	Replace water heater.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
206	Water Heater in Basement. Water Heater Age (Basement); <b>Capital Repair or Modernization</b>	C	MEP/FP Plumbing	Water Heater is 10 years old, at the end of its useful life and the extended warranty period is now over.	Replace water heater. A heat trap and expansion tank should also be installed at this time.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
<b>HENDRICKS HOUSE</b>						Square Footage: 1,644 SF			
207	Kitchen. 2x2 Holes Cut In Ceiling; <b>Maintenance</b>	C	Interior Finishes (Interior)	Saw cut opening in lath and plaster ceiling from previous repair or upgrade.	Repair hole with gypsum wallboard.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
208	Entire Building. Aged Paint; <b>Capital Repair or Modernization</b>	Z	Interior Finishes (Interior)	Interior paint on walls and ceiling is old. Note: many walls have wallpaper. Painted surfaces include limited walls, ceiling, stairs, handrails, etc.	Paint interior.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
209	Entire Building. Worn Floors; <b>Capital Repair or Modernization</b>	Z	Interior Finishes (Interior)	Hardwood floors are old and covered with carpet.	Sand and refinish wood floors.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
210	Entire Building. Cloth Wire Insulation; <b>Capital Repair or Modernization</b>	C	MEP/FP Electrical	Aging wire throughout has cloth insulation that will be brittle if worked on.	Replace wiring with new.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
211	Boiler. Condensing boiler combustion air intake; <b>Maintenance</b>	D	MEP/FP HVAC	The combustion air intake/vent piping are missing a screened concentric fitting.	Install the combustion air intake fitting.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
212	<i>Basement.</i> Damp conditions in the basement; <b>Maintenance</b>	D	MEP/FP HVAC	The basement is damp and there is evidence of mold growth on the basement side of the door to the basement and in the basement itself.	Install a dehumidifier.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
213	<i>Basement.</i> Domestic hot water; <b>Capital Repair or Modernization</b>	D	MEP/FP Plumbing	The domestic hot water side of the combo unit should be provided with an expansion tank.	Provide expansion tank.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
214	<i>Basement.</i> Electric Service Equipment; <b>Capital Repair or Modernization</b>	C	MEP/FP Electrical	60A Square D load center.	Upgrade service equipment with new, sized to accommodate current and future loads.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
215	<i>Entire Building.</i> Emergency Egress Lighting; <b>Capital Repair or Modernization</b>	E	MEP/FP Emergency Lighting	No exit signs or emergency lighting is present.	Provide exit signs, emergency battery units and remote heads with LED units to meet current code.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
216	<i>Entire Building.</i> Exposed BX and NM cable; <b>Capital Repair or Modernization</b>	E	MEP/FP Electrical	Exposed BX and NM cable to outlets located throughout building.	Replace exposed cables with new concealed wiring methods.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
217	Exterior. Exterior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Exterior building mounted lighting consists of incandescent fixtures.	Replace fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
218	Entire Building. Fire Alarm; <b>Capital Repair or Modernization</b>	Z	MEP/FP Fire Alarm	Fire-Lite 5 zone conventional fire alarm system, installed within the last 10 years.	Replace fire alarm system in it's entirety with new addressable system.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
219	General. Fire Suppression System; <b>Other</b>	Z	MEP/FP Fire Protection	There is no fire sprinkler system installed in the building.	Since the building is less than 7,500 gsf, a sprinkler system may not be required. This should be reviewed at the beginning of any project at the building to determine if triggered. This line item assumes sprinklers will not be required.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
220	Basement. Former Boiler and Piping Concern; <b>Other</b>	C	MEP/FP HVAC	The old boiler and the existing heating piping should be checked for hazardous materials.	If hazardous materials are found the should be mitigation. The cost included in this item includes testing both, but does not include abatement.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
221	Entire Building. Interior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Lighting consists of incandescent fixtures.	Replace fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
222	Entire Building. Knob and Tube Wiring; <b>Capital Repair or Modernization</b>	B	MEP/FP Electrical	Knob and tube wiring was observed in the basement and assumed to be throughout the building.	Replace knob and tube wiring with NM-B or MC cable.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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223	2nd floor bathroom. Lavatory Waste; <b>Capital Repair or Modernization</b>	E	MEP/FP Plumbing	The lavatory drain appears to have no trap and to vent into the chimney.	Install a properly trapped and vented waste.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
224	Entire Building. Lighting Controls; <b>Capital Repair or Modernization</b>	Z	MEP/FP Lighting	Lighting controlled by vintage pushbutton, snap switches and pull cords.	Update the lighting control.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
225	Basement. Oil Tanks; <b>Capital Repair or Modernization</b>	A	MEP/FP Code (Depends on Other Work)	Boiler was converted to gas in 2013.	Remove oil tank.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
226	Basement. Pipe Insulation; <b>Maintenance</b>	E	MEP/FP Plumbing	There is no pipe insulation.	Insulate hot and cold water piping.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
227	Entire Building. Ungrounded Receptacles; <b>Capital Repair or Modernization</b>	C	MEP/FP Electrical	Receptacles throughout the building are ungrounded.	Replace receptacles with grounded type. Will most likely require wire replacements.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
<b>HENDRICKS HOUSE BARN</b>						Square Footage:		676 SF	
228	Exterior Walls. Rotted Damaged Windows; <b>Capital Repair or Modernization</b>	B	Envelope Windows	Wood windows are broken and rotted. Water can enter the barn.	Repair wood windows in place.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
229	Entire Building. Siding in Poor Condition; <b>Capital Repair or Modernization</b>	A	Envelope Finishes (Exterior)	Paint is peeling and wood is rotted.	Scrape and paint exterior wood. Selectively replace damaged clapboards.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
230	Near Front Entry. Hole in Wood Floor; <b>Maintenance</b>	A	Interior Finishes (Interior)	There is a hole in the wood floor that is covered with plywood. This is a safety hazard.	Repair plank flooring.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
231	Building Entrance. Improper Wiring Method to Barn; <b>Capital Repair or Modernization</b>	B	MEP/FP Electrical	BX cable is direct buried from house to barn. No disconnect at barn. Code violation.	Replace feeder to barn using allowed wiring methods.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
232	Entire Building. Interior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Lighting consists of incandescent fixtures.	Replace fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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ISSUE DESCRIPTIONS									
#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
233	At entrance. Broken Stoop Step; Maintenance	B	<div>Site</div> <div>Site</div>	The stone that serves as the stoop is broken.	Replace with a concrete step.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
<b>MAYO ELEMENTARY SCHOOL</b>						Square Footage: 83,889 SF			
234	<i>Elevator.</i> Elevator Walls and Floor Damage; <b>Maintenance</b>	D	Elevator Elevator	The finishes in the elevator cab are dated, badly worn, and damaged.	Replace floor, walls and clear off ceiling. This may be possible to do through an elevator maintenance agreement.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
235	<i>West Facade.</i> Buckled Downspout and Clogged Drains; <b>Maintenance</b>	B	Envelope Gutters and Downspouts	Downspout #3 is buckled. Downspouts #4+5 underground drains clogged	Replace one downspout and clear two drains	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
236	<i>South Facade.</i> Caulking Failed; <b>Capital Repair or Modernization</b>	B	Envelope Sealant (Exterior)	Window caulking failed on one side	Remove and replace failed caulking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
237	<i>West facade.</i> CMU Crack; <b>Maintenance</b>	D	Envelope Masonry	There is a crack in the CMU on the West side.	Repair crack with mortar.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
238	<i>South Portion.</i> Cracks in Wall, Flooring, and Hard Clings; <b>Capital Repair or Modernization</b>	B	Envelope Finishes (Interior)	There are a number of cracks in the gyp. board walls, VCT flooring, and hard ceilings, which were likely caused by the building settling.	Repair the finish and add some additional control joints.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
239	<i>East Facade.</i> Gutter Joints Leaking; <b>Capital Repair or Modernization</b>	C	Envelope Gutters and Downspouts	The joints in the gutters are leaking.	Replace existing gutters with seamless gutters.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
240	<i>North Facade.</i> Gutter Rivets Rusted; <b>Capital Repair or Modernization</b>	B	Envelope Gutters and Downspouts	Rivets in gutters appear rusted.	Replace gutters with continuous gutters. The cost of this line item is included in the line item "Gutter Joints Leaking".	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
241	<i>East Facade.</i> Lintels Rusted; <b>Maintenance</b>	D	Envelope Finishes (Exterior)	At two locations, one at a window and one at the main overhang, the lintel is rusted.	Remove rust with chemicals and paint exposed portion of lintel.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
242	<i>West Facade.</i> Masonry Efflorescence; <b>Capital Repair or Modernization</b>	B	Envelope Masonry	Water getting into the masonry wall, getting trapped, and while slowly evaporating, is bringing the efflorescence to the surface. At this time, the total amount of efflorescence is minimal, but the cause should be investigated.	Further investigation required. For the purposes of this line item, it is assumed that a stone band will need to be removed and flashing fixed prior to cleaning off the efflorescence.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
243	<i>Southwest and Northeast Corner of Gym.</i> Masonry Water Infiltration and Roof Issue; <b>Capital Repair or Modernization</b>	B	Envelope Renovation (Multiple Types)	At both the southwest and northeast corners of the gym, there are adjacent roofs where water flows over roof edge causing damage to the masonry below.	Repair the gutters to direct water to the nearest downspout. Once done, clean and repoint the masonry.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
244	<i>South Facade, Right of Pod Door.</i> Masonry Water Infiltration Stain (Exterior); <b>Capital Repair or Modernization</b>	D	Envelope Renovation (Multiple Types)	The masonry to the right of the exterior door to the central pod is stained. This includes a flat wall as well as a pilaster. The cause of the water is unclear and at the time of the assessment, those interior rooms could not be accessed.	Investigate for water intrusion and confirm if the interior rooms are affected. It is assumed the water is the result of incorrect flashing and sealant at the pilaster and that the gyp. board inside needs to be replaced and repainted.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
245	<i>West Facade.</i> Minor Masonry Surface Spalling; <b>Capital Repair or Modernization</b>	D	Envelope Masonry	The bottom of pilaster has minor surface spalling.	Repair the masonry.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
246	<i>Various Locations.</i> Precast Masonry Damage; <b>Capital Repair or Modernization</b>	C	Envelope Masonry	The precast masonry has several of cracks.	Repair with mortar.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
247	<i>East Facade.</i> Sealant Failures; <b>Capital Repair or Modernization</b>	C	Envelope Sealant (Exterior)	The sealant at the east facade is starting to crack.	Remove and replace sealant.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
248	<i>West Facade.</i> Window Sashes Damaged; <b>Maintenance</b>	B	Envelope Windows	Two damaged window sashes.	Repair damaged sashes.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
249	Cafeteria and Kitchen. Crack in Sheet Vinyl and Quarry Tile Floors; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	The slabs have settled and the high point is a crack that runs 4-5 feet in the cafeteria and 4-5 feet into the kitchen.	Repair quarry tile and patch sheet vinyl as part of Finishes Project. Approximately half of the area is quarry tile and the other half sheet vinyl.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
250	Gym. Head Protection on 2 Backboards; <b>Maintenance</b>	D	Interior Finishes (Interior)	The padding on the bottom of the two main backboards is missing.	Replace padding.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
251	Entire Building. Metal Door Frame Damage; <b>Capital Repair or Modernization</b>	D	Interior Doors	Many metal door frames are damaged down low. Paint is chipped off.	None of the doors in this item are severe enough for frame replacement; however, they should continue to be watched. Repainting is included in line item "Paint Damage (Interior)".	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
252	Boys Room 258. Mirror Damaged; <b>Maintenance</b>	D	Interior Finishes (Interior)	A mirror in the Boys Room (258) is damaged.	Replace Mirror.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
253	Entire Building. Paint Damage (Interior); <b>Capital Repair or Modernization</b>	C	Interior Finishes (Interior)	The walls show wear and tear. For example, it appears that tape was used in multiple locations, and when it was removed, it ripped the paint.	Repaint.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
254	Gym Equipment Room. VCT Floor Damage; <b>Capital Repair or Modernization</b>	B	Interior Finishes (Interior)	The VCT is damaged and scarred.	Replace the VCT flooring.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
255	Outside Room 276. Wall Tile Missing; <b>Maintenance</b>	D	Interior Finishes (Interior)	A few wall tile are missing.	Replace Tiles.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
256	Room 206B, IT Space. Air Conditioning Unit Not Operating; <b>Maintenance</b>	B	MEP/FP HVAC	No cooling in the room as a result of the condensing unit not operating.	Have a service mechanic come to the school and repair the system. Since this is a maintenance item, no cost is being carried.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
257	Boiler Room. Boiler Age Concern; <b>Capital Repair or Modernization</b>	Z	MEP/FP HVAC	The anticipated useful life of a fire tube steel boiler is 25 to 30 years. The boilers are approaching 20 years.	Replace the boilers.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
258	Boiler Room. Boiler Panels Rusting; <b>Capital Repair or Modernization</b>	C	MEP/FP HVAC	The side panels of the boilers were reported to be rusting from the inside due to condensation. Some panels needed to be custom made as replacements.	Adjust the temperature reset ramp. Set the minimum return water temperature to be above 140° F. Check inner casing panel tightness of gasketing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
259	<i>Fire Protection.</i> Ceiling Tiles Missing; <b>Maintenance</b>	A	MEP/FP Finishes (Interior)	There are some missing ceiling tiles, which can be a safety issue because they allow smoke and heat from a fire to travel above the ceiling and delay sprinkler activation.	Re-install ceiling tiles.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
260	<i>Entire Building.</i> Clock System Issues; <b>Capital Repair or Modernization</b>	D	MEP/FP Electrical	Simplex Time clock system. Several clocks have failed and have been replaced with battery clocks.	Replace clock system with new.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
261	<i>Women 204.</i> Convactor Issue; <b>Capital Repair or Modernization</b>	A	MEP/FP HVAC	The convector is not operational.	Repair/replace convector.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
262	<i>Boiler Room.</i> Domestic Cold Water Pressure Issue; <b>Maintenance</b>	A	MEP/FP Plumbing	Incoming pressure is > 80 psi, which violates 248 CMR, increases water use, creates distribution problems.	Adjust pressure reducing valve	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
263	<i>Boiler Room.</i> Domestic Hot Water Issues; <b>Capital Repair or Modernization</b>	A	MEP/FP Plumbing	No expansion tank on domestic hot water system.	Install expansion tank on domestic how water.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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264	Room 117. Drinking Fountain Not Working; <b>Maintenance</b>	D	MEP/FP Plumbing	Bubbler is not operational.	Replace bubbler.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
265	Electric rooms. Electric Room Clear Space Violations; <b>Maintenance</b>	A	MEP/FP Code (Depends on Other Work)	Electric rooms are being used for storage.	Clean storage items out of electric room and Mark floor with paint and provide signs indicting clear space requirements. Since this line item includes cleaning and paint or caution tape, no cost is included.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
266	Elevator. Elevator; <b>Noted for Information</b>	Z	MEP/FP FYI	School has (1)20HP Dover elevator with 2 stops	Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
267	Exterior. Exterior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Exterior lighting is HID.	Replace HID exterior lighting with LED.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
268	Staff 256, Classroom 239. Faucet Handle Missing; <b>Maintenance</b>	D	MEP/FP Plumbing	Faucet handle is off.	Replace / Repair faucet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
269	Entire Building. Fire Alarm; <b>Capital Repair or Modernization</b>	C	MEP/FP Fire Alarm	Notifier hybrid fire alarm system is over 18 years old.	Replace fire alarm system in it's entirety with new addressable system.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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270	Library. Floor Box Cover Issues (Library); <b>Maintenance</b>	D	MEP/FP Electrical	The covers of 4 of 5 floor outlets are broken and create a trip hazard.	Remove and replace covers right away.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
271	Pod commons. Floor Box Cover Issues (Pod Commons); <b>Maintenance</b>	C	MEP/FP Electrical	Existing floor boxes have plastic covers that break. Staff has been removing them in pods when reflooring.	Replace the floor box covers with metal.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
272	Boiler Room. Heating Hot Water Pumps; <b>Capital Repair or Modernization</b>	Z	MEP/FP Plumbing	The anticipated useful life of base mounted pumps is 20 to 25 years.	Replace the pumps.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
273	First Floor. HV-4: Motor Side Panel is Missing; <b>Maintenance</b>	C	MEP/FP HVAC	HV-4: Motor side panel is missing.	Replace/re-install panel.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
274	Roof. Kitchen Exhaust Fan Cowl is Damaged; <b>Maintenance</b>	C	MEP/FP HVAC	The exhaust fan cowl is deformed and should be repaired or replaced. The damaged cowl is interfering with the operation of the fan.	Replace the cowl. It may be possible that the service company can perform this work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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275	Supply 239 A - Kiln. Leak at Kiln Vent Roof Penetration; <b>Capital Repair or Modernization</b>	A	MEP/FP Roofing	Leak at roof penetration of kiln vent.	Determine cause of and repair roof leak; likely re-install flashing. Once complete, repair GWB ceiling and repaint.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
276	North Side of Gym. Light Trim Missing; <b>Maintenance</b>	D	MEP/FP Lighting	One light trim missing.	Replace the trim.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
277	Entire Building. No Automatic Temperature Controls; <b>Elective Improvement</b>	D	MEP/FP HVAC	The temperature controls for the HVAC equipment is under stand-alone type controls. There is no software energy management system.	Consider a central station building management system to control the HVAC equipment, at a minimum.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
278	Classroom 273. Slow Sink Drain; <b>Maintenance</b>	C	MEP/FP Plumbing	The sink drains slowly.	Snake drain.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
279	Exterior. Standby and Emergency Power; <b>Maintenance</b>	Z	MEP/FP Electrical	Standby and emergency power is provided by an Onan 100kW diesel generator that has 376 hours and is 18+ years old	Generator shall be maintained annually and exercised weekly. Since this item includes maintenance and testing only, no cost is being carried.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
280	Women's room. Standing Water; <b>Noted for Information</b>	Z	MEP/FP FYI	Large puddle of water in the women's room, probably from the stripping of nearby VCT floors.	No action recommended.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
281	<i>Second Floor Ceiling.</i> Unit Heater Running Inappropriately; <b>Maintenance</b>	D	MEP/FP HVAC	The unit heater fan was running at in the summer (inappropriate time).	Adjust/repair unit heater controls.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
282	<i>Gym Storage.</i> Unit Vent Damage; <b>Maintenance</b>	A	MEP/FP HVAC	Unit ventilator is missing panels, appears to have been leaking.	Repair unit ventilator.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
283	<i>Office.</i> Panic Switch; <b>Elective Improvement</b>	D	*Security Electrical	There is no panic switch connected to the Holden Police Department, which may benefit the school.	Provide panic switch connected with the Holden Police Department	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
284	<i>North Side Corridor Exit.</i> Concrete Stoop Sloped Incorrectly; <b>Capital Repair or Modernization</b>	A	Site Site	Stool slopes wrong way leading water to the door and into the building.	Replace concrete stoop.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
285	<i>South end.</i> Missing Curb Cut; <b>Capital Repair or Modernization</b>	D	Site Site	No curb cut at rear driveway circle leading to walkway.	Provide a curb cut.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
<b>MUNICIPAL LIGHT DEPARTMENT</b>						Square Footage: 14,719 SF			
286	Brick Exterior. Brick and Mortar Damage; <b>Maintenance</b>	C	Envelope Masonry	Couple of holes and missing mortar	Repoint selective areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
287	Brick Exterior. Sealant Cracked ; <b>Capital Repair or Modernization</b>	C	Envelope Sealant (Exterior)	Sealant at expansion joint is starting to crack.	Replace sealant at expansion joints.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
288	Lunch Room. Acoustical Tile Ceiling Stains; <b>Maintenance</b>	C	Interior Renovation (Multiple Types)	Minors stains on 2x2 ceiling tile.	Investigate leak if active. Repair roofing. Once done, replace stained tiles.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
289	Mechanical Room. Boiler Flue Water Infiltration Issue; <b>Capital Repair or Modernization</b>	C	MEP/FP HVAC	There has been condensate leakage from the boiler vent in the past. The leak has caused the boiler vent and combustion air intake support to corrode extensively. There is also some indication there is a leak at the roof penetration or condensate leakage in the attic.	There is staining in many locations on the boiler vent piping from what appears to be interior vent piping condensation. Seal the joints. Seal roof penetration.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
290	Mechanical Room. Boilers Age Concern; <b>Capital Repair or Modernization</b>	Z	MEP/FP HVAC	The boiler was installed in 2001 which makes the boiler 17 years old. The boiler is approaching it's expected useful life of 25 years.	Replace the boiler.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Capital Improvement and Maintenance Plan

### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
291	<i>Mechanical Room.</i> Chilled Water Insulation and Separator; <b>Maintenance</b>	C	MEP/FP HVAC	The bodies of the pumps are not insulated. The insulation on the air separator is damaged.	Insulate the pump bodies and repair the insulation on the air separator.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
292	<i>Mechanical Room.</i> Chiller and Condensing Unit Age; <b>Capital Repair or Modernization</b>	Z	MEP/FP HVAC	The chiller and remote air cooled condensing unit were installed in 2001 which makes them 17 years old. The chiller and condensing unit are approaching their expected useful life of 20 years.	Replace the chiller and condensing unit.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
293	<i>Elevator.</i> Elevator; <b>Noted for Information</b>	Z	MEP/FP FYI	Building has (1)30HP Thyssenkrupp elevator with 2 stops	None at this time.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
294	<i>Exterior.</i> Exterior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Exterior building mounted lighting consists of HID & LED fixtures.	Replace HID fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
295	<i>Entire Building.</i> Fire Alarm; <b>Capital Repair or Modernization</b>	C	MEP/FP Fire Alarm	Simplex addressable fire alarm system is 15+ years old.	Replace fire alarm system in it's entirety with new addressable system	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
296	<i>Garage Bay.</i> Floor Drain Clogged; <b>Maintenance</b>	C	MEP/FP Plumbing	A floor drain is clogged	Clean out floor drain, snake piping.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



## Capital Improvement and Maintenance Plan

### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
297	<i>Bathrooms.</i> Flush Valves; <b>Maintenance</b>	D	MEP/FP Plumbing	Flush valves flush too long.	Adjust flush valves.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
298	<i>Garage Bay.</i> Ice Machine Drain; <b>Capital Repair or Modernization</b>	D	MEP/FP Plumbing	The ice machine drains onto the floor and runs to a clogged floor drain.	Re-pipe the ice machine drain to the exterior, or to the adjacent rainwater leader. See "Floor Drain Clogged" for floor drain issue.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
299	<i>Entire Building.</i> Interior Lighting; <b>Noted for Information</b>	Z	MEP/FP Lighting	Lighting consists of T8 fluorescent fixtures throughout the building.	None at this time.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
300	<i>Mechanical Room.</i> No Domestic Hot Water Recirc; <b>Elective Improvement</b>	D	MEP/FP Plumbing	There is no hot water recirc line and it takes over 2 minutes to get hot water at the bathroom lavs.	Install hot water recirc loop.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
301	<i>Roof.</i> Photovoltaic System; <b>Noted for Information</b>	Z	MEP/FP FYI	Building is provide with a Photovoltaic array on roof.	Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
302	<i>Lower Level Toilet Rooms and Locker areas.</i> Roof Mounted Exhaust Fan Issue; <b>Maintenance</b>	D	MEP/FP HVAC	The roof mounted exhaust fan serving the Toilet and Locker Rooms is not running.	Check to see if the fan is operational. It is assumed, it needs to be replaced.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
303	<i>Exterior.</i> Standby Power; <b>Maintenance</b>	Z	MEP/FP Electrical	Standby power is provided by an outdoor Kohler 100kW diesel generator that has 485 hours and is 15+ years old	Generator shall be maintained annually and exercised weekly. Since this item includes maintenance and testing only, no cost is being carried.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
304	<i>Mechanical Room.</i> Water Heater Age; <b>Capital Repair or Modernization</b>	C	MEP/FP Plumbing	Water Heater is 12 years old, at the end of its useful life.	Replace water heater. A heat trap, expansion tank and recirc loop should also be installed at this time.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
<b>PUBLIC SAFETY BUILDING</b>						Square Footage: 24,898 SF			
305	Booking Area (Police Station). Stains on Secure Metal Ceiling; <b>Maintenance</b>	Z	Interior Renovation (Multiple Types)	Stains are believed to be from pipe leaks above.	Have plumber find and repair leaks. Once repaired, replace stained metal ceiling.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
306	Mechanical Room. AHU-1 Chilled Water Piping Leak; <b>Maintenance</b>	C	MEP/FP HVAC	Just before the chilled water supply pipe enters AHU-1, the insulation is wet at the bottom of the pipe.	Insulation should be cut away and the location of the leak determined and corrected. The insulation should then be replaced with new insulation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
307	Mechanical Room. AHU-1 Return Air Smoke Detector Question; <b>Maintenance</b>	B	MEP/FP HVAC	There should be smoke detectors at each floor return duct prior to connection to the return riser for AHU-1 (AHU-1 CFM is 18,800)	Confirm all areas served by AHU-1 are served by area smoke detectors. If all areas are not protected by area smoke detectors, relocate the existing duct mounted smoke detector and add a second duct mounted smoke detector in the return duct of each floor prior to connection to the AHU -1 return riser.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
308	Mechanical Room. Domestic Hot Water; <b>Capital Repair or Modernization</b>	A	MEP/FP Plumbing	There is no expansion tank on the domestic hot water system.	Install expansion tank.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
309	Elevator. Elevator; <b>Noted for Information</b>	Z	MEP/FP FYI	Building has (1) 20HP Thyssenkrupp elevator with 2 stops.	Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
310	Apparatus Bay. Extractor; <b>Capital Repair or Modernization</b>	E	MEP/FP Plumbing	The extractor should be piped to an indirect waste or a standpipe.	Install trench drain or standpipe.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
311	Entire Building. Fire Alarm; <b>Noted for Information</b>	Z	MEP/FP Fire Alarm	Simplex addressable fire alarm system, 8+ years old.	Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
312	Entire Building. Interior Lighting; <b>Noted for Information</b>	Z	MEP/FP Lighting	Lighting consists of fluorescent fixtures.	Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
313	Fire Protection. Quick Response Sprinklers; <b>Maintenance</b>	C	MEP/FP Fire Protection	Quick Response Sprinklers were manufactured in 2010 and are required to be either tested or replaced after 20 years.	Have sprinkler heads tested.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
314	Exterior. Standby and Emergency Power; <b>Maintenance</b>	Z	MEP/FP Electrical	Standby and emergency power is provided by a Kohler 400kW diesel generator that has 314 hours and is 8+ years old.	Generator shall be maintained annually and exercised weekly. This line item is noted for information and therefore does not carry a cost for maintenance or testing.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

## Capital Improvement and Maintenance Plan

### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
<b>PUBLIC SAFETY BUILDING ANNEX</b>						Square Footage:			
315	Hallway Near Front Entry (1st Floor). Suspected Roof Leak; <b>Capital Repair or Modernization</b>	B	Envelope Roofing	Where two roofs intersect, there is a gutter that leaks into the occupied space below, which has stained many of the ceiling tiles.	Reconstruct 10'x20' areas at intersection. Ice and water shield inner, new shingles.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
316	Men's Room. Broken Toilet Seat; <b>Maintenance</b>	A	MEP/FP Plumbing	Broken toilet seat.	Replace toilet seat.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
317	Boiler Room. Chimney Base Needs to be Cleaned; <b>Maintenance</b>	D	MEP/FP HVAC	There is an accumulation of ash at the base of the chimney access by the chimney clean out door.	Shovel out the accumulated ash.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
318	Entire Building. Electrical Distribution; <b>Maintenance</b>	D	MEP/FP Electrical	Distribution is comprised of old and new equipment with not much identification.	Trace and identify circuits, label equipment and remove any abandoned equipment.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
319	Entire Building. Emergency Lighting; <b>Capital Repair or Modernization</b>	E	MEP/FP Emergency Lighting	Exit signs are nonexistent or paper and emergency egress lighting are incandescent, some battery units did not test OK. No emergency lighting is present outside the exterior egress doors.	Replace exit signs, emergency battery units and remote heads with new LED units. Add additional units to meet current code.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
320	Exterior. Exterior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Exterior building mounted lighting consists of HID fixtures.	Replace fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
321	Men's room. Faulty Flush Valve; <b>Maintenance</b>	A	MEP/FP Plumbing	One of the urinal flush valve sticks.	Repair/replace flush valve.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
322	Entire Building. Fire Alarm; <b>Noted for Information</b>	Z	MEP/FP Fire Alarm	Fire alarm devices are tied into Public Safety Building fire alarm system.	Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
323	Entire Building. Interior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Lighting consists of older fluorescent fixtures.	Replace fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
324	Various Locations. Limited Ventilation in BSMT and TLT Rms; <b>Other</b>	Z	MEP/FP HVAC	If the building is to be re-tasked for use other than storage, ventilation will need to be improved.	No work required at this time. This should be monitored by the Town.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
325	Piping. No Pipe Insulation; <b>Capital Repair or Modernization</b>	D	MEP/FP Plumbing	No pipe insulation.	Insulate piping.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

## Capital Improvement and Maintenance Plan

### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
326	<i>Basement.</i> Stand-by Generator has no Exhaust Louver; <b>Noted for Information</b>	Z	MEP/FP HVAC	The generator is water cooled with a radiator. The radiator is approximately 12 to 18 inches off the side wall.	No work required at this time; this is noted for the record since it will cause an increase in the building temperature when the generator runs.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
327	<i>Lower level service bay.</i> Standby Power; <b>Maintenance</b>	Z	MEP/FP Electrical	Standby power is provided by an indoor Olympian 20kW diesel generator that has 432 hours and is 18+ years old	Generator shall be maintained annually and exercised weekly. Since the suggested action is maintenance and regular testing, this line item does not include a cost.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
328	<i>Storage Rm.</i> Water Heater Age; <b>Capital Repair or Modernization</b>	B	MEP/FP Plumbing	The water heater is 18 years old, at the end of its useful life, and the extended warranty period is now over.	Replace Water Heater.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
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RECREATION BUILDING

Square Footage: 3,769 SF

329	<i>Basement Bathroom.</i> Bathroom Not Accessible; <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	The basement bathroom is not accessible. This include the toilet, sink, and shower.	If triggered by Code, renovate the existing bathroom to make it accessible. It appears there may be sufficient room; however, relocating the floor mounted toilet and the shower drain may require slab work.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
330	<i>Exterior doors.</i> Corner Guards Peeling; <b>Maintenance</b>	D	Envelope Finishes (Exterior)	The paint on steel corner guards at the former garage doors (current windows and panels) are starting to peel.	Strip and paint steel corner guards	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
331	<i>Roof.</i> Gutter Damaged; <b>Capital Repair or Modernization</b>	D	Envelope Gutters and Downspouts	Sliding snow has damaged the gutter.	Install snow rails. Once complete, install new gutter.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
332	<i>Basement.</i> Basement Repurposing; <b>Elective Improvement</b>	Z	Interior Renovation (Multiple Types)	Most of the basement of the building appears to have been abandoned when the Police moved out. If this area is to be repurposed, a large renovation project should be done. Items relating to this are identified with a "*"1".	The cost of this item is covered in other items identified by "*"1".	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
333	<i>Meeting Room.</i> Carpet Worn (Meeting Room); <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	The carpet is worn.	Replace the carpeting.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



## Capital Improvement and Maintenance Plan

### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
334	<i>Corridors offices and toilet rooms.</i> Ceiling Grid Dirty and Discolored; <b>Elective Improvement</b>	D	Interior Finishes (Interior)	The ceiling grid appears to be stained.	Replace ceiling grid.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
335	<i>Former cells.</i> Cell Wall and Floor Damage; <b>Noted for Information</b>	Z	Interior Finishes (Interior)	Holes in CMU walls and damage to concrete floor near floor drains.	Noted for information. If this area is ever renovated, it will need additional work to make it into office space (i.e. removal of the cell bars).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
336	<i>Various Locations.</i> CMU Wall Holes; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	There are various holes in the CMU throughout the building, which may have been from former equipment. For example, the Server Room has several holes.	Patch and paint the masonry.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
337	<i>Front left second office.</i> Masonry Wall Crack; <b>Maintenance</b>	D	Interior Finishes (Interior)	There is a crack in the walls where they intersect at a corner.	Repair the crack.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
338	<i>Meeting Room.</i> Minors Cracks in Ceiling (Meeting Room); <b>Other</b>	D	Interior Finishes (Interior)	There are minor cracks in the plaster ceiling in the Meeting Room.	Since it is a textured ceiling, repairs will be very visible. Consequently, this line item includes no cost since the cracks do not appear to be active. However, the Town should watch this in case the cracks increase.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

## Capital Improvement and Maintenance Plan

### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
339	<i>Basement.</i> Paint Damage (Interior, Basement) *1; <b>Elective Improvement</b>	D	Interior Finishes (Interior)	The basement walls need to be repainted.	Repaint the basement walls.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
340	<i>Various Locations.</i> Stained Ceilings (Various Locations); <b>Capital Repair or Modernization</b>	B	Interior Renovation (Multiple Types)	In multiple locations on the second floor, there are water stained ceiling tiles. It is not clear if this is from a roof leak or from attic equipment issues.	For the purpose of this item, it is assumed there are roof leaks and flashing issues, which should be repaired. Once fixed, the stained ceiling tiles should be replaced.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
341	<i>Basement Floor.</i> Stains on Floor (Basement)*1; <b>Elective Improvement</b>	D	Interior Finishes (Interior)	There are stains (rust, former furniture, etc.) on the floor in the unoccupied areas of the basement.	Clean the concrete floor. Another option is to install new flooring such as VCT, which is not included in this item. Note: cleaning the concrete floor is not the same as having a polished concrete floor, which would cost more.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
342	<i>Server Room, Second Fl Storage Room.</i> VCT Flooring Damage (Server Room); <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	The VCT flooring in the server room is damaged.	Replace the VCT floor.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
343	Office. Baseboard Heater Disconnected; <b>Maintenance</b>	C	MEP/FP HVAC	The baseboard heater appears to be disconnected.	Connect heater pipe.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
344	Basement. Basement Ventilation Issues*1; <b>Elective Improvement</b>	Z	MEP/FP HVAC	The basement is unused except for one space used as a studio. The basement is musty and lacks ventilation.	No work required at this time. If this area becomes used, the ventilation will need to be addressed.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
345	Bathrooms. Bathroom Exhaust Vent; <b>Maintenance</b>	B	MEP/FP HVAC	Exhaust vent is 50% blocked by wasp nest.	Remove wasp nest. Since this is a maintenance item, no cost is being carried.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
346	Basement Studio. Ceiling Mounted Fan Coil Unit Dirty; <b>Maintenance</b>	D	MEP/FP HVAC	The filter and face grill are dirty and need to be cleaned.	Clean the grill and filter.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
347	Mechanical Room. Domestic Hot Water No Recirc; <b>Elective Improvement</b>	D	MEP/FP Plumbing	There is no hot water recirc line and it takes over 2 minutes to get hot water at the bathroom lavs.	Install hot water recirc loop.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
348	Entire Building. Electrical Distribution Mislabeled; <b>Maintenance</b>	D	MEP/FP Electrical	Distribution equipment circuit labeling is based on previous occupant (HPD).	Trace and identify circuits, label equipment and remove any abandoned equipment.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

## Capital Improvement and Maintenance Plan

### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
349	<i>Exterior.</i> Exterior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Exterior building mounted lighting consists of HID fixtures.	Replace fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
350	<i>Entire Building.</i> Fire Alarm Device Issue; <b>Capital Repair or Modernization</b>	E	MEP/FP Fire Alarm	Control panel and devices have recently been replaced with a NAPCO Firewolf FACP and compatible devices. Some device locations are not to current code.	Relocate pull stations and A/V units as required to meet current code.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
351	<i>Entire Building.</i> Fire Suppression System; <b>Capital Repair or Modernization</b>	Z	MEP/FP Fire Protection	There is no fire sprinkler system installed in the building.	Depending on the renovation level, a sprinkler system may be required. This item assumes one will be triggered. It is assumed a water source is nearby and can be easily accessed and connected.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
352	<i>Basement.</i> Generator Replacement Option; <b>Elective Improvement</b>	Z	MEP/FP Electrical	The generator, which served the building when it was a Police Station, is currently abandoned and should be removed (see item "Generator Standby Power"). It would be good to have a functioning generator because network and phone system are located in recreation building.	This line item includes a new generator.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
353	<i>Basement.</i> Generator Standby Power*1; <b>Elective Improvement</b>	D	MEP/FP Electrical	An abandoned 15kW Power Tech natural gas generator that has 1431 hours and is 35+ years old is located in basement . Exhaust piping insulation appears to be ACM.	Abate insulation and remove abandoned generator and equipment. If it is desired to provide a new generator, space is available. This may be advantageous since the IT department moved to this building. A new generator is included in the line item "Generator Replacement Option".	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
354	Entire Building. Interior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Lighting consists of incandescent, and fluorescent fixtures throughout the building and LED fixtures in the offices on the main floor recently renovated.	Replace older fixtures with new lighting with LED light source. Only currently occupied areas are included in this line item.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
355	Basement Electrical Room. Light Not Working*1; <b>Maintenance</b>	M	MEP/FP Lighting	A light in the basement electrical room does not work.	Replace bulb.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
356	Roof. Photovoltaic System; <b>Noted for Information</b>	Z	MEP/FP FYI	Building is provide with a Photovoltaic array on roof	Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
357	Main floor bathrooms. Piping Insulation Missing; <b>Capital Repair or Modernization</b>	E	MEP/FP Plumbing	No insulation under ADA lavs.	Install insulation under ADA lavs.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
358	Various Locations (Former Cells, Basement). Unused Plumbing Fixture Issues*1; <b>Capital Repair or Modernization</b>	B	MEP/FP Plumbing	Unused fixtures have dried out traps which can allow sewer gas into the space, or provide a conduit for pests.	Remove unused cell and basement fixtures. Cap unused waste & vent piping. Remove unused water piping to prevent stagnation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
359	Various Locations. Waste Piping Deterioration; <b>Capital Repair or Modernization</b>	D	MEP/FP Plumbing	Sanitary waste piping show evidence of pinhole leaks.	Remove unused fixtures and piping. Install new waste & vent piping.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
360	Water Heater. Water Heater Age; <b>Capital Repair or Modernization</b>	B	MEP/FP Plumbing	Water heater is 20 years old and at the end of it's useful life, no expansion tank, tank and near piping is corroded.	Replace water heater and a section of piping. Install water heater on a pad.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
<b>SENIOR CENTER</b>						Square Footage:		9,269 SF	
361	<i>Roof, left of entry.</i> Asphalt Shingles Loose; <b>Maintenance</b>	B	Envelope Roofing	A few shingles have gotten loose and are out of place.	Reposition and nail shingles in place.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
362	<i>South Side. Base Trim Damaged;</i> <b>Maintenance</b>	D	Envelope Finishes (Exterior)	A small portion of the base trim on the exterior of the building along the south side appears to be damaged.	Replace base trim.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
363	<i>Entire Building. Dirty Siding;</i> <b>Maintenance</b>	D	Envelope Finishes (Exterior)	The siding is dirty and should be clean.	Wash siding.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
364	<i>Roof left of entry.</i> Ice Dam Evidence; <b>Capital Repair or Modernization</b>	A	Envelope Roofing	There is evidence of ice dams and of previous repairs.	Replace roof left of entry. The Town should consider adding in heat trace to help prevent future ice damming, which is not included in the cost of this item.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
365	<i>Roof left of entrance. Missing Ridge Vent Part;</i> <b>Maintenance</b>	B	Envelope Roofing	Part of ridge vent missing.	Replace damaged section of ridge vent.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
366	<i>South side. Paint Damage (Exterior);</i> <b>Capital Repair or Modernization</b>	B	Envelope Finishes (Exterior)	MDF louvers, trellis, and column bases need paint.	Paint.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
367	Low roof to right of entry. Roof Organic Growth; <b>Maintenance</b>	D	Envelope Roofing	Organic material growing on the roof.	Clean roof with chemicals.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
368	Office in back. Water Damage (Interior, Back Right); <b>Capital Repair or Modernization</b>	C	Envelope Renovation (Multiple Types)	Stains on ceiling tile.	Address roof leaks. Once fixed, replace the ceiling tiles.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
369	Vestibule, adjacent Tlt Rm, & MPR. Water Damage (Interior, Front); <b>Capital Repair or Modernization</b>	A	Interior Renovation (Multiple Types)	There is water damage at the ceiling and walls in the vestibule, adjacent single user toilet room, and multipurpose room. Most likely, this is the result of a roof leak in the area.	Repair the roof leak. Once fixed, replace damaged ceiling tiles and gyp board and repaint.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
370	Air conditioning units. Condensing Units and Warm Air Furnaces; <b>Capital Repair or Modernization</b>	Z	MEP/FP HVAC	The anticipated useful life of split system air conditioning units is 15 to 20 years. The condensing units and fan coil units are approaching 20 years.	Replace condensing units and fan coil units.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
371	Main Service. Electric Equipment Clear Space Violations; <b>Maintenance</b>	A	MEP/FP Code (Depends on Other Work)	Desk is located in front of SPSS panel.	Remove desk and mark floor with paint and provide signs indicting clear space requirements. Since this line item includes cleaning and paint or caution tape, no cost is included.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
372	Entire Building. Emergency Lighting; <b>Capital Repair or Modernization</b>	E	MEP/FP Emergency Lighting	Exit signs and emergency egress lighting are fluorescent and some battery units did not test OK. No emergency lighting is present outside the exterior egress doors.	Replace exit signs, emergency battery units and remote heads with new LED units. Add additional units to meet current code.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
373	Toilet Rooms 174 and 175. Exhaust Fan Operation; <b>Capital Repair or Modernization</b>	C	MEP/FP HVAC	The toilet exhaust fan does not appear to be working causing odors in the two spaces.	Have a service technician determine why the fans are not running and repair or replace the fans. The cost of this item assumes the fans will need to be replaced.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
374	Exterior. Exterior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Exterior building mounted and pole mounted lighting consists of HID fixtures.	Replace fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
375	Entire Building. Fire Alarm; <b>Capital Repair or Modernization</b>	C	MEP/FP Fire Alarm	Simplex fire alarm system 18 years old.	Replace fire alarm system in it's entirety with new addressable system.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
376	Entire Building. Interior Lighting; <b>Noted for Information</b>	Z	MEP/FP FYI	Lighting consists of fluorescent fixtures.	Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
377	Roof. Kitchen Hood Exhaust Fan; <b>Capital Repair or Modernization</b>	C	MEP/FP HVAC	Fan is out of balance.	Determine cause and replace fan wheel if necessary.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
378	Unisex Bathroom. Lavatory Faucet Issue; <b>Maintenance</b>	M	MEP/FP Plumbing	Faucet is dripping.	Service faucet. As a maintenance item, no cost is being carried.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
379	Men's Room, Women's Room. Lavatory Pulled Out; <b>Capital Repair or Modernization</b>	C	MEP/FP Plumbing	Lav is pulled out from the wall	Install sink with concealed arm carrier.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
380	Water Heater. No Expansion Tank; <b>Capital Repair or Modernization</b>	C	MEP/FP Plumbing	No expansion tank is provided.	Install expansion tank. This should be installed in conjunction with water heater replacement (see "Water Heater Age" item).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
381	Roof. Photovoltaic System; <b>Noted for Information</b>	Z	MEP/FP FYI	Building is provide with a Photovoltaic array on roof.	Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
382	<i>Sprinklers.</i> Quick Response Sprinklers; <b>Maintenance</b>	C	MEP/FP Fire Protection	Installed in 2000, now approaching 20 years old. Quick response sprinklers are required to be tested or replaced every 20 years.	Test a portion of sprinklers in accordance with NFPA-25.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
383	<i>Exterior.</i> Standby power; <b>Maintenance</b>	Z	MEP/FP Electrical	Standby power is provided by an Olympian 60kW natural gas generator that has 284 hours and is 18+ years old	Generator shall be maintained annually and exercised weekly. Since this item is maintenance and testing, no cost is carried.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
384	<i>Roof.</i> Warm Air Furnace Flues Rusting; <b>Capital Repair or Modernization</b>	C	MEP/FP HVAC	Three to five warm air furnace flues are rusting.	Replace exterior portion of flues and paint.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
385	<i>Water Heater.</i> Water Heater Age; <b>Capital Repair or Modernization</b>	C	MEP/FP Plumbing	Water Heater is 18 years old. The useful life span of a gas fired water heater is less than 20 years. The recirc pump and mixing valve should also be replaced at the same time	Replace Water Heater. Also see "No Expansion Tank" item.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
386	<i>Entry.</i> Paving Settled; <b>Maintenance</b>	A	Site Site	The paving has settled and a nearby drain may be clogged	Clear drain, excavate, fill and re-pave.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
<b>STARBARD BUILDING</b>						Square Footage: 5,627 SF			
387	<i>First and Second Floors.</i> Door Hardware Not Accessible; <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	Door hardware consists of round door knobs. Lever handles are required.	Change door hardware.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
388	<i>Stairs.</i> Handrails Not Compliant; <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	The stair handrails do not meet code for a variety of reasons: no extension, no wall baluster, etc.	Since it is a public building, a Code compliant handrail could be added to the wall and a variance obtained for the historic 'inner' balustrade.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
389	<i>First and Second Floors.</i> No Accessible Toilet Rooms; <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	There are no toilet rooms on the first floor and the toilet rooms on the second floor are not accessible.	If triggered by Code, the second floor toilet rooms must be made accessible.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
390	<i>First and Second Floors.</i> No Braille Signage; <b>Maintenance</b>	E	Code Accessibility (Depends on Other Work)	There is no signage that includes Braille for the rooms at Starbard.	ADA Signage must be installed.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
391	<i>Exterior HC Ramp.</i> Ramp Not Compliant; <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	The concrete ramp and stair are in poor condition resulting in them no longer being in compliance. Also, the handrails do not meet code.	Replace ramp as part of accessibility project.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
392	<i>Building.</i> Aluminum Storm Windows Fair Condition; <b>Other</b>	D	Envelope Windows	The storm windows are in fair condition.	When the wood windows are replaced, storm windows will no longer be needed. If the windows are restored, the need for storm windows should be evaluated. This item assumes the windows will be replaced without storm windows.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
393	<i>Basement.</i> Basement Moisture Issue; <b>Capital Repair or Modernization</b>	C	Envelope Site	In the basement, there is no standing water, but it smells of moisture. There are no gutters or down spouts on this building.	Direct water away from the foundation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
394	<i>Assessor's Office.</i> Chimney Leak; <b>Maintenance</b>	B	Envelope Masonry	Rain water drips into fireplace from above.	The existing chimney cap must be repaired.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
395	<i>Entire Building.</i> Wood Windows Fair to Poor Condition; <b>Capital Repair or Modernization</b>	D	Envelope Windows	Single glazed wood windows glazing compound and paint are failing off.	Replace all windows, which is carried in this line item. The Town may want to consider restoring the existing windows, which may have historic value. This would add cost.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
396	Entire Building. Carpet in Poor Condition; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	Carpet is worn in the Hallways. Carpet in Selectman's room and offices is in good condition.	Replace Carpet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
397	Third Floor. Ceilings Cracked; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	Plaster ceiling has cracked. See also "Structural Issues".	Repair and paint as part of a larger project.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
398	Men's and Women's Rooms. Toilet Room Finishes in Poor Condition; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	Floors and walls need to be refinished.	Refinish as part of a large project to make toilet rooms accessible.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
399	Exterior air conditioning equipment.. Air Cooled Condensing Units; <b>Capital Repair or Modernization</b>	C	MEP/FP HVAC	The condensing units appear to have been installed at different times, but the general age looks to be 5 years or more.	Review the installation date of units. This item assumes they will need to be replaced within the next 10 years; their age should determine exactly when this is needed.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
400	3rd floor bathroom. Bathroom Appears Old; <b>Capital Repair or Modernization</b>	D	MEP/FP Plumbing	The bathroom is small and fixtures are dated.	Replace fixtures.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
401	Basement. Clearspace Violations; <b>Capital Repair or Modernization</b>	E	MEP/FP Code (Depends on Other Work)	Hot water pipe runs in front of service entrance equipment.	If service is upgraded in any way, this should be corrected.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
402	Entire Building. Cloth Wire Insulation; <b>Capital Repair or Modernization</b>	C	MEP/FP Electrical	Aging wire throughout has cloth insulation that will be brittle if worked on.	Replace wiring with new.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
403	Boiler Room. Communication Wiring over Vent Connector; <b>Maintenance</b>	C	MEP/FP Electrical	Some of the communication wiring is resting on the boiler vent connector.	Install wire ties to group and raise wiring away from hot vent connector.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
404	Boiler Room. Domestic Water Supply; <b>Maintenance</b>	M	MEP/FP Plumbing	Water supply pressure is set to 88 psi.	Adjust PRV to limit water pressure to 80 psi.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
405	<i>Basement.</i> Electric Service Equipment; <b>Capital Repair or Modernization</b>	C	MEP/FP Electrical	400A Square D panelboard and various distribution panelboards of various vintage, over 30 years old.	Upgrade service equipment with new sized to accommodate current and future loads.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
406	<i>Elevator.</i> Elevator; <b>Noted for Information</b>	Z	MEP/FP Elevator	Building has (1)20HP Otis elevator with 2 stops.	Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
407	<i>Entire Building.</i> Emergency Egress Lighting; <b>Capital Repair or Modernization</b>	E	MEP/FP Emergency Lighting	Exit signs and emergency egress lighting are incandescent and some battery units did not test OK. No emergency lighting is present outside the exterior egress doors.	Replace exit signs, emergency battery units and remote heads with new LED units. Add additional units to meet current code.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
408	<i>3rd floor bathroom.</i> Exhaust Fan; <b>Capital Repair or Modernization</b>	B	MEP/FP HVAC	Fan vents through the attic, near the soffit with a 3" vinyl hose.	Vent fan to the exterior with 4" metal duct.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
409	<i>Men's Room.</i> Exhaust Fan (Men's Room); <b>Capital Repair or Modernization</b>	E	MEP/FP HVAC	There is no exhaust fan for the men's room.	Install exhaust fan and vent to the exterior.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>



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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
410	Women's Room. Exhaust Fan (Women's Room); <b>Capital Repair or Modernization</b>	A	MEP/FP HVAC	Fan vents to attic space. Fan also has an inappropriate / non code compliant electrical connection.	Replace exhaust fan. Install per electrical and mechanical codes. Vent to the exterior.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
411	Exterior. Exterior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Exterior building mounted lighting consists of incandescent fixtures.	Replace fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
412	Entire Building. Fire Alarm; <b>Capital Repair or Modernization</b>	E	MEP/FP Fire Alarm	Control panel has recently been replaced with a NAPCO Firewolf FACP, but devices were not all replaced and device locations are not up to current code	Replace devices and wiring with new and add additional devices to meet current code.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
413	Entire Building. Interior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Lighting consists of incandescent and fluorescent fixtures.	Replace fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
414	3rd floor kitchen. Kitchen Sink; <b>Capital Repair or Modernization</b>	E	MEP/FP Plumbing	Sink is not properly vented.	Vent the sink in accordance with 248 CMR.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
415	Bathrooms. Lavatory Piping Not Insulated; <b>Maintenance</b>	A	MEP/FP Plumbing	There is no insulation on the piping under the ADA compliant Lavs.	Install pipe insulation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
416	Boiler Room. Oil Tanks; <b>Capital Repair or Modernization</b>	A	MEP/FP Code (Depends on Other Work)	Boiler was converted to gas in 2013.	Remove oil tank.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
417	Basement. Service Equipment Clear Space Violations; <b>Capital Repair or Modernization</b>	E	MEP/FP Code (Depends on Other Work)	Hot water pipe runs in front of service entrance equipment.	If service is upgraded in any way, this violation would need to be corrected. This line item assumes it will be upgraded sometime in the next ten years.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
418	Boiler Room. Tub Sink Sump Pump; <b>Maintenance</b>	A	MEP/FP Plumbing	The sump pump is not working.	Repalce sump pump.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
419	Men's Room. Water Damage at Lavatory; <b>Capital Repair or Modernization</b>	C	MEP/FP Plumbing	Water is getting behind the lavatory and damaging wall.	Seal behind lav, install a backsplash, or replace with a lav that has a backsplash.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
420	Boiler Room. Water Heater; <b>Capital Repair or Modernization</b>	A	MEP/FP Plumbing	Water heater is passed its useful life and there is no heat trap and no expansion tank. Also, the tank and near piping is corroded.	Replace water heater and a section of piping.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
421	Basement. Water Piping; <b>Maintenance</b>	C	MEP/FP Plumbing	Piping is not insulated.	Insulate piping.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
422	<i>Roof and Floor Framing.</i> Structural Issues (Additional Investigation Needed); <b>Capital Repair or Modernization</b>	A	<div>Structural</div> <div>Structural</div>	Both the roof and floors require structural attention. The roof, which is more urgent, requires both a temporary shoring solution for the short-term and a permanent solution. The floor support is less urgent than the roof.	Provide temporary shoring as a short-term solution for the roof. A permanent solution is needed both for the roof and the flooring. However, most of the existing structure is hidden in finished walls; therefore, a full investigation and design is needed to determine a cost. Consequently, this line item does not carry a cost.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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<b>TOWN HALL</b>						Square Footage: 7,020 SF			
423	First Floor Corridor. Corridor Too Narrow (Accessibility); <b>Other</b>	E	Code Accessibility (Depends on Other Work)	The corridor on the first floor is too narrow. This also impacts the door at the end of the corridor, which does not have the required door clearances.	Confirm if a variance has been granted. If not, apply for a variance (cost of moving the wall outweighs the benefit).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
424	Entire Building. Door Hardware Accessibility Concerns; <b>Noted for Information</b>	Z	Code Accessibility (Depends on Other Work)	Doors to interior closets and behind public counters have door knobs. If these areas remain employee-only, there are no issues. If the public needs to use one of these doors, the hardware will need to be changed.	Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
425	East Side. Railings Not Compliant (Ramp); <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	Ramp railings do not comply with IBC & MAAB. See also "Railings Not Compliant (Rear Steps)".	Replace railings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
426	East, Rear Entrance. Railings Not Compliant (Rear Steps); <b>Capital Repair or Modernization</b>	E	Code Code (Depends on Other Work)	The handrails on the front and back stairs are not Building Code compliant (i.e. too low). See also "Railings Not Compliant (Ramp)".	Replace the handrails.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
427	Second Floor Meeting Room Stage. Stage Not Accessible; <b>Other</b>	E	Code Accessibility (Depends on Other Work)	The stage in the large second floor meeting room can only be reached by stairs and is therefore not accessible. It does not appear that the stage is used by the public.	Confirm if a variance was previously granted. If not, apply for a variance and/or make the stage "employee only".	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
428	Front and Back of Building. Stairs Not Accessible; <b>Other</b>	Z	Code Accessibility (Depends on Other Work)	Both the front and back stairs have accessibility issues (i.e. handrails). However, there is an elevator. It is assumed these stairs previously received a variance.	Confirm the stairs received a variance. If not, apply for a variance.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
429	First Floor Men's and Women's Toilet Rooms. Toilet Rooms Not Accessible; <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	Both first floor Men's and Women's Toilet Rooms are not accessible: door knobs, flush valve on the wrong side, toilet paper dispenser too high, etc.	Renovate the bathrooms to make them accessible.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
430	Elevator. Elevator Wall Damage; <b>Maintenance</b>	D	Elevator Elevator	The walls of the elevator are slightly damaged from scuffs and minor dents.	Replace the interior wall panels. It may be possible that this could be done as part of an elevator maintenance agreement.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
431	Basement Ceiling. Ceiling Insulation Exposed to Moisture; <b>Capital Repair or Modernization</b>	C	Envelope Insulation	Very moist environment. Fiberglass batts at first floor framing is uncovered.	Cover fiberglass batts with vapor barrier (i.e. Tyvek).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
432	Front Columns. Column Base Settlement; <b>Capital Repair or Modernization</b>	C	Envelope Site	The stone base for the front left column has settled and is not level.	Reposition the base.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
433	Entire. Exterior Siding and Trim Paint Damage; <b>Capital Repair or Modernization</b>	D	Envelope Finishes (Exterior)	The exterior is wood siding and trim. Other than the newer elevator addition on the rear of the building, the exterior needs to be stripped of all paint and repainted. This includes siding, window trim and front columns. See also "Exterior Siding and Trim Wood Damage".	Strip paint and repaint.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
434	Entire. Exterior Siding and Trim Wood Damage; <b>Capital Repair or Modernization</b>	D	Envelope Finishes (Exterior)	Approximately 20% of the exterior siding needs to be replaced, in selected random locations. See also "Exterior Siding and Trim Paint Damage".	Replace siding.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
435	West Side Fire escape. Fire Escape Doors (Meeting Room); <b>Capital Repair or Modernization</b>	B	Envelope Doors	Both egress doors of the double doors are in poor condition. Additionally, neither are the minimum width.	Replace the doors with a wider door and sidelights.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
436	<i>Top of Fire Escape.</i> Fire Escape Doors (Stair to Balcony); <b>Capital Repair or Modernization</b>	C	Envelope Doors	The exterior door from the balcony stair landing onto the fire escape is deteriorated. Also, there is no door threshold, which is allowing water infiltration on the floor and in wall.	Replace door and threshold. Repair water damaged interior.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
437	<i>West Side, Exterior.</i> Fire Escape Issues; <b>Maintenance</b>	E	Envelope Finishes (Exterior)	The fire escape appears structurally sound, but the paint is in poor condition. Based on today's standards the treads, risers and railings are substandard and are probably considered dangerous.	Investigate and review replacement options. If remaining, at least strip and repaint (which is carried in this item).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
438	<i>Front Entrance Doors.</i> Front Entrance Not Accessible; <b>Other</b>	D	Envelope Accessibility (Depends on Other Work)	The front entrance doors are not accessible; each leaf is 2'4"; lacks compliant hardware; consists of steps; etc.. It should be noted that an accessible entrance is to the rear left side, and there is signage directing the public to it.	Confirm an accessibility variance was granted. If not, obtain a variance.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
439	<i>Front Exterior Stairs.</i> Front Stair Issues (Exterior); <b>Capital Repair or Modernization</b>	B	Envelope Masonry	The mortar joints in the front granite stairs have failed. Additionally, the steps are not equal, which is a violation of the Building Code.	Disassemble the stairs and reinstall.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
440	<i>Kitchen, Second Floor, Front Facade.</i> Kitchen Window Adjustment; <b>Noted for Information</b>	Z	Envelope Windows	The front facing kitchen window has a piece of wood covering a part of the jamb. This is one of the restored windows, and it's unclear what the wood is doing.	Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
441	North Side Elevation (rear). Louver Damaged; <b>Capital Repair or Modernization</b>	B	Envelope HVAC	The wood louver is deteriorated and probably allowing water to enter the building	Replace with a new metal louver.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
442	Exterior. Paint Deterioration (Exterior); <b>Capital Repair or Modernization</b>	D	Envelope Finishes (Exterior)	The exterior paint is peeling and it is evident there have already been too many layers of paint. This includes siding, trim, and the columns in front.	Strip the paint (likely using a chemical peel) and repaint.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
443	Entire Building. Roofing Deterioration; <b>Capital Repair or Modernization</b>	D	Envelope Roofing	Roof shingles appear to be in early stage of deterioration. This needs to be confirmed.	If confirmed, replace shingles.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
444	Basement Floor. Standing Water on Concrete and Dirt Floor; <b>Capital Repair or Modernization</b>	A	Envelope Renovation (Multiple Types)	In the basement, there is no slab; the floor is a dirt floor. There are several pools of standing water. It was reported that while the sump pump was off, some flooding occurred, but it is questionable if this is the cause of the current water on the floor.	Determine the cause of the water infiltration (i.e. hydrostatic pressure, foundation leak, etc.). One potential solution is to provide a second sump pump, which is part of another item.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
445	Front of Building. Window Draft; <b>Other</b>	D	Envelope Windows	The windows on the front of the building appear to be restored original windows with single panes of glass. Users reported drafts, which may be from being single pane units. Options are limited if the goal is to keep the historic windows.	It is assumed that since these are historic windows, the Town would like to keep them. Consequently, there is no suggested action. If at sometime, the Town is willing, newer, thermally insulated windows could be installed.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
446	Basement. Basement Stairs Not Compliant; <b>Other</b>	E	Interior Code (Depends on Other Work)	The stairs to the basement are not building Code compliant. The tread size varies, and there are no risers.	Rebuild the stairs if triggered.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
447	Entire Building. Carpet Worn; <b>Capital Repair or Modernization</b>	C	Interior Finishes (Interior)	The carpet is showing signs of wear and tear.	Replace the carpet.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
448	At the back of the First Floor Corridor. First Floor Corridor Door Issues; <b>Maintenance</b>	D	Interior Doors	Two issues with the door at the end of the first floor corridor: the door sticks, and when open, the door handle damages some conduit on the wall.	Scrape the edge of the door and frame, then repaint. Also, provide a door stop that prevents the handle from hitting the conduit.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
449	Second Floor in Room to Left of Stage. Floor Dips; <b>Maintenance</b>	C	Interior Renovation (Multiple Types)	The floor dips in the room/corridor to the left of the stage.	Remove the carpet and resecure the substrate (likely plywood). Reinstall carpet.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
450	<i>Kitchen.</i> Flooring Material Concern; <b>Noted for Information</b>	Z	Interior FYI	The kitchen on the second floor has 9X9 floor tile that may contain asbestos. There are a few cracks, but overall, they are in fair shape and could last more than 10 years.	If it is decided to replace the tiles, they should be tested for asbestos first to determine if abatement is needed. Since this item does not include replacement, no cost is being carried.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
451	<i>Kitchen, Second Floor.</i> Kitchen Cabinets and Countertop Worn; <b>Elective Improvement</b>	Z	Interior Finishes (Interior)	The kitchen cabinets and countertops are old and worn. For cosmetic reasons, these could be replaced.	Since this line item is elective, no cost is being carried.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
452	<i>Kitchen, Second Floor.</i> Kitchen Ceiling Peeling; <b>Capital Repair or Modernization</b>	C	Interior Finishes (Interior)	The ceiling in the kitchen is peeling, possibly from moisture. Although the room has an exhaust hood over the stove, there is no general exhaust.	Provide a general exhaust fan, then scrape and paint the ceiling.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
453	<i>Entire Building.</i> Paint Deterioration (Interior); <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	Paint throughout the building is scuffed and worn. Also, some shrinkage cracks have appeared in the gypsum board. This also affects the stairs leading from the second floor to the meeting room balcony.	Scrape and paint.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
454	<i>Second Floor Meeting Room.</i> Plaster Ceiling Damage; <b>Capital Repair or Modernization</b>	D	Interior Renovation (Multiple Types)	A couple of areas of the plaster ceiling in the second floor meeting room have fallen.	Repair the roof leak. Repair the ceiling and repaint.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
455	<i>Front Entrance Vestibule/Stair.</i> Wall Damage at FA Device; <b>Maintenance</b>	D	Interior Finishes (Interior)	Some of the plaster in the front entrance vestibule / stair was damaged while a pull station was installed.	Repair plaster and paint. If possible, this should be part of a larger interior repainting project.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
456	<i>Second Floor Elevator Lobby.</i> Wall Damage at Second Fl. Elevator Lobby; <b>Maintenance</b>	D	Interior Finishes (Interior)	The walls outside the elevator on the second floor are scuffed and marked.	Repaint all damaged walls. The cost of this item is included in line "Paint Deterioration (Interior)".	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
457	<i>Various Locations (Qty: 2).</i> Wall/Ceiling Holes at Various Locations; <b>Maintenance</b>	D	Interior Finishes (Interior)	There are a couple of locations where the the gypsum board is damaged. One is at a ceiling where a removed device left a hole. Another is a hole created by a coat hook.	Patch the wall and paint.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
458	<i>Various Locations.</i> Window Treatment Damage; <b>Maintenance</b>	M	Interior Finishes (Interior)	Some of the blinds and shades have minor damage.	Replace damaged blinds and shades.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
459	Boiler Room. Boiler Age; <b>Capital Repair or Modernization</b>	C	MEP/FP HVAC	Boiler is 36 years old. There is significant rusting through of the front and side panel of the boiler casing.	The boiler needs to be replaced; however, there are several options. If replaced in kind (as carried here), replacement does not trigger additional work. However, they will not be efficient systems. Replacing with efficient systems requires upgrades throughout the building (i.e. radiators, piping, etc.).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
460	Boiler Room. Boiler Piping Uninsulated; <b>Capital Repair or Modernization</b>	C	MEP/FP HVAC	The existing steam piping and condensate piping is uninsulated.	Insulate the piping. See also the Boiler Age item for this building.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
461	Basement. Electric Service Equipment; <b>Capital Repair or Modernization</b>	C	MEP/FP Electrical	200A Bulldog disconnect and various distribution panelboards of various vintage, over 30 years old.	Upgrade service equipment with new, sized to accommodate current and future loads.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
462	Elevator. Elevator; <b>Noted for Information</b>	Z	MEP/FP FYI	Building has (1)20HP Otis elevator with 2 stops	Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
463	Entire Building. Emergency Egress Lighting; <b>Capital Repair or Modernization</b>	E	MEP/FP Emergency Lighting	Exit signs and emergency egress lighting are incandescent and some battery units did not test OK. No emergency lighting is present outside the exterior egress doors.	Replace exit signs, emergency battery units and remote heads with new LED units. Add additional units to meet current code.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
464	Men's Room. Exhaust Fan Volume; <b>Maintenance</b>	D	MEP/FP HVAC	Bathroom Exhaust Fan is loud.	Replace wall exhaust fan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
465	Exterior. Exterior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Exterior building mounted lighting consists of incandescent fixtures.	Replace fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
466	Entire Building. Fire Alarm; <b>Capital Repair or Modernization</b>	E	MEP/FP Fire Alarm	Control panel has recently been replaced with a NAPCO Firewolf FACP, but devices were not all replaced and device locations are not up to current code.	Replace devices and wiring with new and add additional devices to meet current code.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
467	Basement. Hot & Cold Water Piping Not Insulated; <b>Capital Repair or Modernization</b>	E	MEP/FP Plumbing	Piping is not insulated.	Insulate Piping.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
468	Various Locations. Insulation Detaching; <b>Maintenance</b>	D	MEP/FP HVAC	In some locations, the insulation around piping has become loose and is coming off.	Secure the insulation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
469	Entire Building. Interior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Vintage and task lighting consists of incandescent and fluorescent fixtures.	Replace fixtures with new vintage and task lighting with LED light source.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
470	Second Floor Kitchen. Kitchen Faucet Hot Water Delay; <b>Capital Repair or Modernization</b>	D	MEP/FP Plumbing	Takes over 1 minute to get hot water to the sink.	Install point of use electric water heater or recirc loop. This line item assumes the addition of a POU electric water heater.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
471	Second to Last, Rear Right Office (1st Fl). Light Fixture Missing Cover; <b>Maintenance</b>	D	MEP/FP Lighting	The ceiling mounted light fixture is missing its cover.	Replace the cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
472	Basement. Open Storm Drain; <b>Maintenance</b>	E	MEP/FP Plumbing	There is lots of rain and/or groundwater in the dirt floor basement. Equipment condensate is pumped to an open storm drain in the corner of the basement, and the drain is partially filled with silt.	Clean out drain.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
473	Entire Building. Paint Damage (Interior, Radiators); <b>Capital Repair or Modernization</b>	D	MEP/FP Finishes (Interior)	The gloss paint on the radiators does not appear to have withstood the expansion and contraction.	Strip paint and repaint with flat paint.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
474	Bathrooms. Plumbing Fixtures Dated and Damaged; <b>Capital Repair or Modernization</b>	C	MEP/FP Plumbing	The bathroom fixtures are dated. The men's lavatory is cracked.	Replace fixtures.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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475	<i>Basement. Service Equipment Clear Space Violations; Capital Repair or Modernization</i>	E	MEP/FP Code (Depends on Other Work)	Hot water pipe runs in front of service entrance equipment.	If service is upgraded in any way, this violation would need to be corrected. This line item assumes that some hot water pipe needs to be rerouted.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
476	<i>Building Heating System. Steam Trap Maintenance; Maintenance</i>	M	MEP/FP Plumbing	Steam traps require routine maintenance.	Contract with a vendor to provide yearly steam trap maintenance. Since this item includes starting a maintenance contract, no cost is being carried.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
477	<i>Second Floor Rear Right Office. Time Clock Noise; Maintenance</i>	D	MEP/FP Electrical	The time clock in the second floor rear right office frequently makes a humming noise. It is assumed this is related to lighting or other controls for the second floor meeting room.	Replace time clock with quieter unit.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
478	<i>Basement. Unused Indirect Waste Pipe; Maintenance</i>	A	MEP/FP Plumbing	An open indirect waste pipe is unused, so the trap is likely dried out and can vent sewer gas into the basement.	Cap unused sanitary piping.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
479	<i>Basement. Unused Oil Tanks in Basement; Capital Repair or Modernization</i>	A	MEP/FP Code (Depends on Other Work)	Boiler was converted to gas in 2004, but the old oil tanks remain in the basement.	Remove oil tanks.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
480	<i>Boiler Room. Water Heater Age; Capital Repair or Modernization</i>	B	MEP/FP Plumbing	Installed 2000 - 2002, no heat trap, no expansion tank. Water heater is long passed it's useful life span.	Replace Water Heater.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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481	Basement. Wet Basement Conditions; <b>Capital Repair or Modernization</b>	C	MEP/FP Renovation (Multiple Types)	At some point, the existing sump pump was accidentally left unplugged and water came up several inches on the boilers. Also, the wet conditions in the basement are causing deterioration to the mechanical equipment as evidenced by the condition of the boiler.	Install a second sump pump and a dehumidifier.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
482	Entire. Roof Framing Damage; <b>Capital Repair or Modernization</b>	D	Structural Structural	From the ground, it appears the roof rafters are sagging at mid-span. This should be investigated.	This should be investigated prior to determining a suggested action. This line item carries an allowance, but an estimate should be obtained once an investigation occurs and a design developed.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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<b>TROUT BROOK FUNCTION HALL</b>						Square Footage: 1,599 SF			
483	<i>Main Entrance to Enclosed Building.</i> Entrance Not Accessible; <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	The main entrance to the enclosed building is not accessible due to various issues including, but not limited to, too much slope in pathway to entrance, step at entrance, etc.	Renovate the entrance, which will include some grade work.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
484	<i>Front. Ramp at Open Structure Not Accessible;</i> <b>Capital Repair or Modernization</b>	E	Code Accessibility (Depends on Other Work)	The ramp to the main floor of the open structure does not have handicapped railings.	If triggered by Code, provide handrails.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
485	<i>Rear and Rear Side Walls. Damaged Exterior Walls;</i> <b>Capital Repair or Modernization</b>	B	Envelope Finishes (Exterior)	The dampproofing at the rear and rear side walls have deteriorated.	Replace dampproofing.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
486	<i>Various Locations (incl. Mechanical Room). Minor Roof Leak(s);</i> <b>Maintenance</b>	A	Envelope Roofing	There appears to be minor roof leaks. The sloped roof is metal panel and the flat roof is membrane roofing.	Repair the roof leaks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

## Capital Improvement and Maintenance Plan

### ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
487	<i>Roof of Open Structure.</i> Roof Damage; <b>Capital Repair or Modernization</b>	M	Envelope Roofing	There are some holes in the existing roof. It was reported on-site that at one point there were plans to replace the roof with a metal roof. It is unclear if this work is going forward.	Replace the roof.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
488	<i>Various Locations.</i> Secondary Egress Hardware Not Accessible; <b>Maintenance</b>	E	Envelope Accessibility (Depends on Other Work)	There are two egress doors other than the main entrance that do not have lever handles.	Replace with lever handles	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
489	<i>Exterior, Various Locations.</i> Window Paint Peeling (Large Windows); <b>Maintenance</b>	C	Envelope Windows	The window paint is peeling on the exterior.	Repaint the windows.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
490	<i>Entire Building.</i> VCT Floor Wear; <b>Capital Repair or Modernization</b>	D	Interior Finishes (Interior)	The VCT is in fair to good condition, but will need to be replaced over the next 10 years.	Replace the VCT.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
491	<i>Building.</i> Carbon Monoxide Sensors; <b>Capital Repair or Modernization</b>	A	MEP/FP HVAC	Carbon monoxide sensors should be installed if there are people sleeping in the building.	Install plug in carbon monoxide sensors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
492	Entire Building. Emergency Egress Lighting; <b>Capital Repair or Modernization</b>	E	MEP/FP Emergency Lighting	No exit signs or emergency lighting is present.	Provide exit signs, emergency battery units and remote heads with LED units to meet current code.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
493	Exterior. Exterior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Exterior lighting consists of incandescent building mounted and HID pole mounted fixtures.	Replace fixtures with new lighting with LED light source.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
494	Entire Building. Fire Alarm; <b>Noted for Information</b>	Z	MEP/FP Fire Alarm	Property protection provided with security system with heat detectors. Battery smoke detectors are provided in the function area.	None at this time.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
495	Warm air furnace. Furnace Age; <b>Capital Repair or Modernization</b>	C	MEP/FP HVAC	The furnace appears to be 21 years old which is near the end of it's expected useful life.	Replace with a new warm air furnace	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
496	Entire Building. Interior Lighting; <b>Capital Repair or Modernization</b>	D	MEP/FP Lighting	Lighting consists of T12 fluorescent fixtures.	Replace fixtures with new lighting with LED light source.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
497	Entire Building. Lighting Controls; <b>Capital Repair or Modernization</b>	E	MEP/FP Lighting	Lighting controlled by wall switches.	Provide occupancy control in spaces.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Capital Improvement and Maintenance Plan

ISSUE DESCRIPTIONS

#	Location and Issue Title	Designation	System Category and Work Type	Description	Suggested Action	Year 1-3	Year 4-7	Year 8-10	If Triggered
498	Water Heater. Water Heater Age; <b>Maintenance</b>	C	MEP/FP Plumbing	Water Heater is 13 years old, at the end of its useful life and the extended warranty period is now over.	Replace Water Heater	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
499	Well Pump. Well Pump; <b>Noted for Information</b>	Z	MEP/FP FYI	Well pump was installed in 2017.	Noted for information.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

#### **F.4 ISSUES PHOTOS CHART (PROVIDED UNDER SEPARATE COVER)**

This chart, which will be provided under separate cover, will list each issue along with relevant photos.

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## **F.5 SYSTEMS CATEGORY CHART WITH ISSUES**

The following chart has ordered issues by the systems category assigned to each issue.

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Capital Improvement and Maintenance Plan

SYSTEM CATEGORY (WITH ISSUES)

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		

Chaffins Sub-Station Fire Department

Square Footage: 13,740 SF

Code Issues:

1	Entire Building. Accessibility (Depends on Other Work): No Accessible Hardware				\$0	
2	Entire Building. Renovation (Multiple Types): Potential Fire Station Compliance Issues				\$9,243,590	

Subtotal (Code): \$9,243,590 \$9,243,590

Envelope Issues:

3	Exterior. Finishes (Exterior): Break Metal Fascia Screws Rusted	\$10,350				
5	Exterior Walls. Insulation: No Insulation at Walls			\$87,360		
4	Exterior, South. Masonry: Masonry Crack	\$3,760				
6	Rear Left of Apparatus Bay. Structural: Partial Roof Collapse	\$603,750				
Subtotal (Envelope):		\$617,860		\$87,360	\$705,220	\$705,220

Interior Issues:

7	Entire Building. Finishes (Interior): Ceiling Worn		\$32,980			
8	Dayroom. FYI: Insufficient Lockers (Optional)					
Subtotal (Interior):			\$32,980		\$32,980	\$32,980

MEP/FP Issues:

14	Entire Building. Code (Depends on Other Work): Insufficient Toilet Facilities				\$336,380	
10	Bottom of Stairwell. Electrical: Electric Service Equipment				\$336,380	
16	Entire Building. Electrical: No Exit Signs		\$7,310			

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
18 <i>Exterior</i> . Electrical: Standby Power	\$194,930					
11 <i>Entire Building</i> . Emergency Lighting: Emergency Egress Lighting					\$92,430	
13 <i>Entire Building</i> . Fire Alarm: Fire Alarm	\$160,000					
17 <i>Entire Building</i> . Fire Protection: No Sprinklers					\$462,180	
19 <i>Toilet Room</i> . HVAC: Toilet Room Fan	\$15,010					
12 <i>Exterior</i> . Lighting: Exterior Lighting		\$76,050				
15 <i>Entire Building</i> . Lighting: Interior Lighting		\$361,730				
9 <i>Men's Room</i> . Plumbing: Clean-out Plug			\$7,490			
<b>Subtotal (MEP/FP):</b>	<b>\$369,940</b>	<b>\$445,090</b>	<b>\$7,490</b>	<b>\$822,520</b>	<b>\$1,227,370</b>	<b>\$2,049,890</b>
<b>Chaffins Sub-Station Fire Department Subtotal:</b>	<b>\$987,800</b>	<b>\$478,070</b>	<b>\$94,850</b>	<b>\$1,560,720</b>	<b>\$10,470,960</b>	<b>\$12,031,680</b>

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		

**Damon House**

Square Footage: 2,810 SF

**Code Issues:**

20	Entire Building, mostly Second Floor. Accessibility (Depends on Other Work): Door Hardware Not Accessible (Knobs)				\$13,650	
21	Front and Rear Entry. Accessibility (Depends on Other Work): Entry Not Accessible				\$67,280	
22	All floors (3). Accessibility (Depends on Other Work): No Accessible Toilet Rooms				\$114,360	
23	Entire building. Accessibility (Depends on Other Work): No Accessible Vertical Circulation				\$0	
24	First Floor. Accessibility (Depends on Other Work): No Braille Signage				\$9,750	
25	Stairs. Accessibility (Depends on Other Work): Non-Compliant Handrails				\$47,090	

**Subtotal (Code):** **\$252,130** **\$252,130**

**Envelope Issues:**

30	Exterior. Finishes (Exterior): Paint Peeling (Exterior)	\$4,830			
31	Exterior Steps and Porches (3 locations). Finishes (Exterior): Wood Deck Finish Deterioration		\$7,800		
32	Various Locations (Qty: +/-3). Finishes (Exterior): Wood Trim Holes		\$2,200		
29	Basement. Insulation: No Insulation at Basement Ceiling	\$19,330			
28	Exterior. Masonry: Foundation Masonry Items		\$6,730		
26	Roof. Roofing: Asphalt Shingle Deterioration		\$40,950		
27	Multiple locations. Windows: Cracked Glass Storm Windows		\$1,750		

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
33 Entire Building. Windows: Wood Windows in Poor Condition				\$184,280		
<b>Subtotal (Envelope):</b>	<b>\$24,160</b>	<b>\$243,710</b>		<b>\$267,870</b>		<b>\$267,870</b>

**Interior Issues:**

34 Entire Building. Finishes (Interior): Carpet in Poor Condition		\$39,000				
35 Entire building (interior). Finishes (Interior): Paint Damage (Interior)		\$23,400				
36 Various Locations (i.e. Lobby). Finishes (Interior): Wallpaper Damage			\$15,130			
<b>Subtotal (Interior):</b>		<b>\$62,400</b>	<b>\$15,130</b>	<b>\$77,530</b>		<b>\$77,530</b>

**MEP/FP Issues:**

48 Basement. Code (Depends on Other Work): Oil Tanks Abandoned					\$8,490	
40 Basement. Electrical: Electric Service Equipment	\$5,180					
49 Basement. Electrical: Panelboard Clear Space Violations	\$1,040					
41 Entire Building. Emergency Lighting: Emergency Egress Lighting	\$21,830					
44 Entire Building. Fire Alarm: Fire Alarm					\$43,680	
37 Basement. HVAC: Boiler Combustion Air Intake Issue	\$440					
42 Bathrooms. HVAC: Exhaust Fan Exhaust Air Issue			\$15,750			
43 Exterior. Lighting: Exterior Lighting		\$5,850				
45 Entire Building. Lighting: Interior Lighting		\$76,440				
38 Bathrooms. Plumbing: Dated Plumbing Fixtures			\$6,300			
39 Basement. Plumbing: Domestic Water Piping Not Insulated	\$5,950					
46 First Floor Bathroom. Plumbing: Lavatory Damage		\$2,930				
47 Basement. Plumbing: No Expansion Tank (Boiler/Water Heater)	\$3,800					

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH ISSUES)						
System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Subtotal (MEP/FP):	\$38,240	\$85,220	\$22,050	\$145,510	\$52,170	\$197,680
Site Issues:						
50 Left Bay Window at Foundation. Site: Erosion at Grade		\$43,880				
Subtotal (Site):		\$43,880		\$43,880		\$43,880
Damon House Subtotal:	\$62,400	\$435,210	\$37,180	\$534,790	\$304,300	\$839,090

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		

**Davis Hill Elementary School**

Square Footage: 77,271 SF

**Code Issues:**

51 *Sidewalk Near Garden.* Accessibility (Depends on Other Work):  
Garden Curb Cut Missing \$3,760

<b>Subtotal (Code):</b>	<b>\$3,760</b>	<b>\$3,760</b>	<b>\$3,760</b>
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**Envelope Issues:**

53 <i>Gymnasium at Far End Emergency Exit.</i> Doors: Door Opening Issue (Gym Emergency Exit)	\$3,760		
56 <i>Various Locations.</i> Doors: Exterior Door Frames Rusting	\$15,530		
60 <i>Various Locations.</i> Finishes (Exterior): Metal Cornice/Cove Joint Failure		\$8,080	
66 <i>Front Entrance.</i> Finishes (Exterior): Soffit Panel Joints	\$6,210		
58 <i>At Various Entries.</i> Gutters and Downspouts: Gutter Ends Sloped Incorrectly	\$4,560		
59 <i>Entire Building.</i> Gutters and Downspouts: Gutters and Downspouts Seam Issues		\$3,760	
62 <i>Various Locations.</i> Gutters and Downspouts: Roof Edge Resulting in Water Damage	\$7,760		
57 <i>Entire Building.</i> Lighting: Exterior Wall Pack Lights Issues	\$3,760		
54 <i>Entire Building.</i> Plumbing: Downspout Drains Clogged		\$4,880	
55 <i>Outside Kitchen.</i> Plumbing: Drain Outside Kitchen Clogged	\$0		
61 <i>Roof Drainage / Gutters.</i> Roofing: Potential Ice Falling Damage	\$0		
63 <i>Entire.</i> Roofing: Roof Shingles		\$1,131,980	
65 <i>Entire Building.</i> Roofing: Snow Guards	\$165,600		

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
64 Exterior Windows and Doors, Entire Building. Sealant (Exterior): Sealant Aging				\$73,500		
52 Outside Kindergarten and Rear Gym Exit. Site: Concrete Stoop and Exterior Door Issue	\$15,010					
<b>Subtotal (Envelope):</b>	<b>\$222,190</b>	<b>\$1,148,700</b>	<b>\$73,500</b>	<b>\$1,444,390</b>		<b>\$1,444,390</b>
<b>Interior Issues:</b>						
69 Gym Entrance from the Corridor. Doors: Door Damage (Gym)	\$3,760					
67 Various Locations. Finishes (Interior): Carpet Wear and Tear	\$310,500					
68 Entire Building. Finishes (Interior): Ceiling Tile Damage		\$362,700				
70 Backboards in Gym. Finishes (Interior): Head Protection Missing or Hanging Off		\$1,530				
72 Entire Building. Finishes (Interior): Paint Damage (Interior)	\$500,040					
73 Stairs. Finishes (Interior): Stair Tread Scuffs			\$31,500			
74 Various Locations. Finishes (Interior): VCT Flooring Damage			\$189,000			
71 Library. FYI: IT and Library Office Configuration						
<b>Subtotal (Interior):</b>	<b>\$814,300</b>	<b>\$364,230</b>	<b>\$220,500</b>	<b>\$1,399,030</b>		<b>\$1,399,030</b>
<b>MEP/FP Issues:</b>						
85 Electric Rooms. Code (Depends on Other Work): Electric Room Clear Space Violations	\$1,040					
81 Entire Building. Electrical: Clock System			\$53,980			
103 Exterior. Electrical: Standby and Emergency Power						
80 Various Locations. Finishes (Interior): Ceiling Tiles Missing	\$0					
91 Entire Building. Fire Alarm: Fire Alarm			\$730,490			

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
99 <i>Fire Protection</i> . Fire Protection: Quick Response Sprinklers	\$133,340					
105 <i>Fire Protection</i> . Fire Protection: Water Supply Concerns	\$4,310					
86 <i>Elevator</i> . FYI: Elevator						
93 <i>Roof Drainage / Gutters</i> . Gutters and Downspouts: Gutters Clogged	\$5,180					
75 <i>IT Room</i> . HVAC: AC Unit Not Working (IT Room)	\$0					
77 <i>Boiler Room</i> . HVAC: Boiler Age			\$330,750			
78 <i>Boiler Room</i> . HVAC: Boiler Flue Issue	\$600					
79 <i>Boiler Room</i> . HVAC: Boiler Panels Rusting	\$0					
82 <i>First Floor Laundry</i> . HVAC: Cloths Dryer Duct	\$860					
87 <i>Boys and Girls 174 and 175</i> . HVAC: Exhaust Fan Issue	\$5,260					
88 <i>Kitchen</i> . HVAC: Exhaust Fan Noise		\$3,780				
90 <i>Entire Building</i> . HVAC: Failed Refrigerant Line Insulation	\$7,760					
92 <i>Kitchen</i> . HVAC: Freezer Condensation Damage	\$0					
96 <i>IT Room</i> . HVAC: IT Room Condensing Unit Not Working	\$5,260					
97 <i>Stairwell #3 Exit</i> . HVAC: Leaking Fan Coil Unit	\$0					
100 <i>Air Cooled Condensing Units</i> . HVAC: Refrigerant Piping	\$22,510					
101 <i>Storeroom across from the Kitchen</i> . HVAC: Room Overheating	\$15,010					
104 <i>Stair #2 First Floor</i> . HVAC: Wall mounted cabinet heater	\$1,500					
89 <i>Exterior</i> . Lighting: Exterior Site Lighting Issues			\$7,510			
102 <i>Various Locations</i> . Lighting: Several Light Fixtures Out	\$7,760					
76 <i>Bathrooms</i> . Plumbing: Bathroom Floor Drains Issues	\$3,450					
83 <i>Boiler Room</i> . Plumbing: Domestic Hot Water	\$5,180					
84 <i>Corridor 230</i> . Plumbing: Drinking Fountain Not Working	\$2,590					



**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
94 <i>Boiler Room</i> . Plumbing: Heating Hot Water Pumps Age				\$5,500		
95 <i>Music Room</i> . Plumbing: Hot Water Not Working (Music Room)	\$260					
98 <i>Boiler Room</i> . Plumbing: P&T Relief Valve on Water Heater Missing	\$440					
<b>Subtotal (MEP/FP):</b>	<b>\$222,310</b>	<b>\$3,780</b>	<b>\$1,128,230</b>	<b>\$1,354,320</b>		<b>\$1,354,320</b>
<b>*Security Issues:</b>						
106 <i>Office</i> . Electrical: Panic Switch	\$1,510					
<b>Subtotal (*Security):</b>	<b>\$1,510</b>			<b>\$1,510</b>		<b>\$1,510</b>
<b>Davis Hill Elementary School Subtotal:</b>	<b>\$1,264,070</b>	<b>\$1,516,710</b>	<b>\$1,422,230</b>	<b>\$4,203,010</b>		<b>\$4,203,010</b>

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		

**Dawson Elementary School**

Square Footage: 59,178 SF

**Code Issues:**

107 *Entire Building*. Accessibility (Depends on Other Work): Door Accessibility Issues \$0

**Subtotal (Code):** **\$0** **\$0**

**Envelope Issues:**

109 *Exterior, Various Locations*. Finishes (Exterior): Canopy Finish Damage \$11,700

113 *Exterior, Left of the Cafeteria*. Insulation: Spray Foam Insulation Deteriorating \$5,260

108 *Exterior, Various Locations*. Masonry: Brick Staining \$7,500

110 *Rear Side of Left Wing*. Masonry: Masonry Crack \$3,890

111 *Entire Roof*. Roofing: Roof Age Concern \$4,036,500

112 *Exterior*. Sealant (Exterior): Sealant Failure at EIFS \$15,010

**Subtotal (Envelope):** **\$26,400** **\$4,053,460** **\$4,079,860** **\$4,079,860**

**Interior Issues:**

116 *Outside room #B55*. Doors: Door and Sidelight Frame Rusty \$11,260

117 *Emergency Electrical Room (B39A)*. Doors: Door Hardware Missing (Emergency Elec.) \$910

118 *Room B34*. Doors: Door Missing

114 *Various Locations (Small Offices)*. Finishes (Interior): Carpet Worn \$189,000

115 *Entire Building*. Finishes (Interior): Ceiling Tiles Damage \$702,000

119 *Interior (Entire Building)*. Finishes (Interior): Paint Damage (Interior) \$472,500

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
120 <i>Near Entrance</i> . Finishes (Interior): Skylight Cardboard Frame						
121 <i>Various Locations</i> . Finishes (Interior): VCT Damage				\$94,500		
122 <i>Various Locations</i> . Finishes (Interior): Wall Base Missing (Limited Areas)	\$11,210					
123 <i>Corridors</i> . Finishes (Interior): Wallpaper Detaching	\$3,800					
124 <i>Area of large skylight over library</i> . Finishes (Interior): Water Damage from Roof		\$3,800				
125 <i>Gym</i> . Finishes (Interior): Wood Stairs at Stage Worn		\$5,260				
<b>Subtotal (Interior):</b>	<b>\$27,180</b>	<b>\$711,060</b>	<b>\$756,000</b>	<b>\$1,494,240</b>		<b>\$1,494,240</b>
<b>MEP/FP Issues:</b>						
133 <i>Electric rooms</i> . Code (Depends on Other Work): Electric Room Clear Space Violations	\$1,040					
131 <i>Entire Building</i> . Electrical: Clock System Issues				\$141,750		
146 <i>Exterior</i> . Electrical: Standby and Emergency Power						
137 <i>Entire Building</i> . Fire Alarm: Fire Alarm Age		\$614,250				
126 <i>Boiler Room</i> . HVAC: AHU-2 Condensate Leak	\$0					
129 <i>Boiler Room</i> . HVAC: Boiler Panels Rusting	\$0					
130 <i>Boiler Room</i> . HVAC: Boilers				\$0		
134 <i>Roof, Various Fans</i> . HVAC: Exhaust Fans Issues	\$81,510					
135 <i>Roof</i> . HVAC: Exhaust Fans on Roof				\$121,280		
139 <i>Roof</i> . HVAC: Kitchen Cooler/Freezer Condensing Units	\$25,880					
140 <i>Roof</i> . HVAC: Kitchen Exhaust Fan EF-7	\$3,760					
142 <i>Roof</i> . HVAC: Roof Mounted ACC Unit (#PFC027A)				\$37,590		

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
143 <i>Roof</i> . HVAC: Roof Mounted ACC Unit (#TTA060)	\$75,040					
144 <i>Roof</i> . HVAC: Roof Mounted ACC Unit (#YCJD48)	\$9,060					
136 <i>Exterior</i> . Lighting: Exterior Lighting			\$3,750			
127 <i>Kitchen</i> . Plumbing: Bathroom Flush Valve (Staff, by Cafeteria)	\$110					
128 <i>Bathrooms B-10 &amp; B-11</i> . Plumbing: Bathroom Flush Valves (by Cafeteria)					\$15,600	
132 <i>Room B-36, Room C-20</i> . Plumbing: Drinking Fountain	\$5,180					
138 <i>Boiler Room</i> . Plumbing: Hot Water Pumps Age			\$15,750			
141 <i>Bathrooms C-20 &amp; C-21</i> . Plumbing: Plumbing Fixtures Age		\$25,350				
145 <i>Nurse's Office</i> . Plumbing: Sink Faucet Sticks	\$260					
147 <i>Boiler Room</i> . Plumbing: Water Heater Age	\$120,750					
<b>Subtotal (MEP/FP):</b>	<b>\$322,590</b>	<b>\$639,600</b>	<b>\$320,120</b>	<b>\$1,282,310</b>	<b>\$15,600</b>	<b>\$1,297,910</b>
<b>*Security Issues:</b>						
148 <i>Office</i> . Electrical: Panic Switch	\$1,500					
<b>Subtotal (*Security):</b>	<b>\$1,500</b>			<b>\$1,500</b>		<b>\$1,500</b>
<b>Site Issues:</b>						
149 <i>Exterior, to the right of the building..</i> Site: Fence and Gate Damage			\$3,780			
<b>Subtotal (Site):</b>			<b>\$3,780</b>	<b>\$3,780</b>		<b>\$3,780</b>
<b>Dawson Elementary School Subtotal:</b>	<b>\$377,670</b>	<b>\$5,404,120</b>	<b>\$1,079,900</b>	<b>\$6,861,690</b>	<b>\$15,600</b>	<b>\$6,877,290</b>

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		

**Dawson Pool Complex**

Square Footage:

**Envelope Issues:**

150 <i>Bathroom Building</i> . Finishes (Exterior): Siding Aged (Bathroom Building)		\$35,100				
151 <i>Life Guard Building (East)</i> . Finishes (Exterior): Siding Aged (Life Guard Building)		\$26,330				
152 <i>Main Building</i> . Finishes (Exterior): Trim Board Condition		\$11,700				
<b>Subtotal (Envelope):</b>		<b>\$73,130</b>			<b>\$73,130</b>	<b>\$73,130</b>

**Interior Issues:**

153 <i>Entire building</i> . Finishes (Interior): Scuffs on Walls			\$84,000			
154 <i>Second Floor</i> . Finishes (Interior): VCT Tile Damage		\$20,480				
<b>Subtotal (Interior):</b>		<b>\$20,480</b>	<b>\$84,000</b>		<b>\$104,480</b>	<b>\$104,480</b>

**MEP/FP Issues:**

156 <i>Main Service, Pump House</i> . Code (Depends on Other Work): Electric Room Clear Space Violations	\$1,040					
162 <i>Exterior</i> . Electrical: Receptacles Covers Not Waterproof	\$3,000					
157 <i>Entire Building</i> . Fire Alarm: Fire Alarm		\$97,500				
161 <i>Pool Heater Area</i> . HVAC: Pool Heater Age						
163 <i>Roof mounted exhaust fan</i> . HVAC: Roof Fan Age						
155 <i>Pool Heater Gas Piping</i> . Plumbing: Drip and Sediment Trap Leg Incorrect	\$860					
158 <i>Pool Equipment Room</i> . Plumbing: Hose Connections Issues	\$1,040					
159 <i>Second Floor Multipurpose Room</i> . Plumbing: Kitchen Sink		\$980				

Capital Improvement and Maintenance Plan					
SYSTEM CATEGORY (WITH ISSUES)					
System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal	
160 <i>Pool Equipment Room.</i> Plumbing: No Water Supply Backflow Preventer	\$1,730				
164 <i>Water Heater Room.</i> Plumbing: Water Heater Age	\$129,380				
Subtotal (MEP/FP):	\$137,050	\$98,480		\$235,530	\$235,530
Dawson Pool Complex Subtotal:	\$137,050	\$192,090	\$84,000	\$413,140	\$413,140

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>Eagle Lake Bath House</b>					Square Footage:	600 SF
<b>Code Issues:</b>						
165 <i>ADA Toilet Room.</i> Accessibility (Depends on Other Work): Toilet Not Accessible					\$6,830	
<b>Subtotal (Code):</b>					<b>\$6,830</b>	<b>\$6,830</b>
<b>Interior Issues:</b>						
166 <i>Entire Building.</i> Finishes (Interior): Paint (Exterior and Interior)				\$10,080		
<b>Subtotal (Interior):</b>				<b>\$10,080</b>	<b>\$10,080</b>	<b>\$10,080</b>
<b>MEP/FP Issues:</b>						
173 <i>Entire Building.</i> Emergency Lighting: No Emergency Egress Lighting	\$7,250					
174 <i>Entire Building.</i> Fire Alarm: No Fire Alarm						
167 <i>Exhaust Fans.</i> HVAC: Building Ventilation Fan Age						
168 <i>Exterior.</i> Lighting: Exterior Lighting Issues				\$117,000		
169 <i>Entire Building.</i> Lighting: Interior Lighting Issues				\$17,550		
171 <i>Entire Building.</i> Lighting: Lighting Controls				\$10,350		
170 <i>ADA bathroom.</i> Plumbing: Lavatory Piping Insulation Missing	\$3,740					
172 <i>Men's Room.</i> Plumbing: Missing Clean Out Plug	\$750					
175 <i>Entire Building.</i> Plumbing: Plumbing Fixture Traps Drying Out	\$7,500					
176 <i>Utility Room.</i> Plumbing: Water Heater				\$4,500		
<b>Subtotal (MEP/FP):</b>	<b>\$19,240</b>	<b>\$149,400</b>		<b>\$168,640</b>		<b>\$168,640</b>
<b>Eagle Lake Bath House Subtotal:</b>	<b>\$19,240</b>	<b>\$149,400</b>	<b>\$10,080</b>	<b>\$178,720</b>	<b>\$6,830</b>	<b>\$185,550</b>

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		

**Gale Free Library**

Square Footage: 14,396 SF

**Code Issues:**

177 <i>Both Stairs.</i> Accessibility (Depends on Other Work): Handrails Not Code Compliant	\$70,650
178 <i>Third Floor.</i> Accessibility (Depends on Other Work): Men's and Women's Rooms Not Accessible	\$585,000

**Subtotal (Code):** **\$655,650** **\$655,650**

**Envelope Issues:**

186 <i>Exterior of Old Wing.</i> Finishes (Exterior): Wood Windows Need Paint	\$75,040				
183 <i>Second Floor Ceiling and Walls.</i> Finishes (Interior): Water Infiltration (Atrium, Newer Addition)	\$45,030				
179 <i>Building Envelope.</i> Masonry: Broken Stone Panel at North East Corner	\$22,530				
181 <i>Exterior of Old Wing.</i> Masonry: Minor Mortar Damage			\$63,000		
184 <i>Children's Director's Office.</i> Renovation (Multiple Types): Water Infiltration (Children's Dir. Office)	\$15,010				
180 <i>Newer Addition.</i> Roofing: Metal Roof Panel Damage		\$393,760			
182 <i>Third Floor Tower Room.</i> Windows: Water Damage Over Window	\$4,140				
185 <i>Original Building, 2nd Floor, by Main Entry.</i> Windows: Window Cracked	\$4,500				
<b>Subtotal (Envelope):</b>	<b>\$166,250</b>	<b>\$393,760</b>	<b>\$63,000</b>	<b>\$623,010</b>	<b>\$623,010</b>



**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Interior Issues:						
188 <i>Basement</i> . Accessibility (Depends on Other Work): Door Knobs Not Accessible					\$10,100	
187 <i>Entire Building</i> . Finishes (Interior): Carpet Worn				\$272,160		
190 <i>Interior, Multiple Locations</i> . Finishes (Interior): Multiple Plaster Cracks		\$43,880				
191 <i>Various Locations</i> . Finishes (Interior): Paint Damage (Interior)				\$158,760		
192 <i>Main Stair</i> . Finishes (Interior): Rubber Stair Treads Lifting	\$2,250					
189 <i>Over door to children's room</i> . Windows: Glass in Transom Cracked		\$2,250				
Subtotal (Interior):	\$2,250	\$46,130	\$430,920	\$479,300	\$10,100	\$489,400

**MEP/FP Issues:**

195 <i>Main Electric room</i> . Code (Depends on Other Work): Electric Room Clear Space Violations						
194 <i>Entire Building</i> . Electrical: Clock System				\$94,500		
201 <i>Main Electric Room</i> . Electrical: Life Safety Code Violation (Junction Boxes)	\$1,500					
202 <i>Main Electric Room</i> . Electrical: Life Safety Code Violation (MDP)	\$1,500					
197 <i>Entire Building</i> . Emergency Lighting: Emergency Egress Lighting		\$56,160				
198 <i>Entire Building</i> . Fire Alarm: Fire Alarm	\$124,200					
199 <i>Sprinkler Valve Room in Basement</i> . Fire Protection: Hydraulic Information Sign Missing		\$2,250				
204 <i>Sprinkler Valve Room in Basement</i> . Fire Protection: Spare Sprinkler Box		\$2,250				
196 <i>Elevator</i> . FYI: Elevator						

Capital Improvement and Maintenance Plan

SYSTEM CATEGORY (WITH ISSUES)

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
193 <i>Roof. HVAC: Air Cooled Condensing Unit Age</i>		\$58,500				
203 <i>Roof. HVAC: Roof Top HVAC Units Age</i>			\$218,400			
200 <i>Entire Building. Lighting: Interior Lighting</i>		\$421,200				
205 <i>POU Water Heater in 2nd Floor. Plumbing: Water Heater Age (2nd Floor)</i>		\$7,500				
206 <i>Water Heater in Basement. Plumbing: Water Heater Age (Basement)</i>		\$4,500				
<b>Subtotal (MEP/FP):</b>	<b>\$127,200</b>	<b>\$552,360</b>	<b>\$312,900</b>	<b>\$992,460</b>		<b>\$992,460</b>
<b>Gale Free Library Subtotal:</b>	<b>\$295,700</b>	<b>\$992,250</b>	<b>\$806,820</b>	<b>\$2,094,770</b>	<b>\$665,750</b>	<b>\$2,760,520</b>

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		

**Hendricks House**

Square Footage: 1,644 SF

**Interior Issues:**

207 <i>Kitchen</i> . Finishes (Interior): 2x2 Holes Cut In Ceiling	\$6,210					
208 <i>Entire Building</i> . Finishes (Interior): Aged Paint	\$5,180					
209 <i>Entire Building</i> . Finishes (Interior): Worn Floors	\$8,540					
<b>Subtotal (Interior):</b>	<b>\$19,930</b>			<b>\$19,930</b>		<b>\$19,930</b>

**MEP/FP Issues:**

225 <i>Basement</i> . Code (Depends on Other Work): Oil Tanks	\$7,760					
210 <i>Entire Building</i> . Electrical: Cloth Wire Insulation	\$12,810					
214 <i>Basement</i> . Electrical: Electric Service Equipment		\$9,750				
216 <i>Entire Building</i> . Electrical: Exposed BX and NM cable					\$14,490	
222 <i>Entire Building</i> . Electrical: Knob and Tube Wiring	\$17,080					
227 <i>Entire Building</i> . Electrical: Ungrounded Receptacles		\$4,840				
215 <i>Entire Building</i> . Emergency Lighting: Emergency Egress Lighting	\$12,090					
218 <i>Entire Building</i> . Fire Alarm: Fire Alarm			\$23,390			
219 <i>General</i> . Fire Protection: Fire Suppression System						
211 <i>Boiler</i> . HVAC: Condensing boiler combustion air intake	\$440					
212 <i>Basement</i> . HVAC: Damp conditions in the basement	\$3,760					
220 <i>Basement</i> . HVAC: Former Boiler and Piping Concern	\$4,310					
217 <i>Exterior</i> . Lighting: Exterior Lighting		\$5,850				
221 <i>Entire Building</i> . Lighting: Interior Lighting		\$43,450				
224 <i>Entire Building</i> . Lighting: Lighting Controls			\$7,790			

Capital Improvement and Maintenance Plan

SYSTEM CATEGORY (WITH ISSUES)

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
213 <i>Basement</i> . Plumbing: Domestic hot water	\$4,310					
223 <i>2nd floor bathroom</i> . Plumbing: Lavatory Waste			\$1,540			
226 <i>Basement</i> . Plumbing: Pipe Insulation		\$3,900				
<b>Subtotal (MEP/FP):</b>	<b>\$62,560</b>	<b>\$67,790</b>	<b>\$32,720</b>	<b>\$163,070</b>	<b>\$14,490</b>	<b>\$177,560</b>
<b>Hendricks House Subtotal:</b>	<b>\$82,490</b>	<b>\$67,790</b>	<b>\$32,720</b>	<b>\$183,000</b>	<b>\$14,490</b>	<b>\$197,490</b>

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>Hendricks House Barn</b>					Square Footage:	676 SF
<b>Envelope Issues:</b>						
229 Entire Building. Finishes (Exterior): Siding in Poor Condition	\$7,760					
228 Exterior Walls. Windows: Rotted Damaged Windows	\$6,040					
<b>Subtotal (Envelope):</b>	<b>\$13,800</b>			<b>\$13,800</b>		<b>\$13,800</b>
<b>Interior Issues:</b>						
230 Near Front Entry. Finishes (Interior): Hole in Wood Floor	\$910					
<b>Subtotal (Interior):</b>	<b>\$910</b>			<b>\$910</b>		<b>\$910</b>
<b>MEP/FP Issues:</b>						
231 Building Entrance. Electrical: Improper Wiring Method to Barn	\$7,760					
232 Entire Building. Lighting: Interior Lighting			\$17,030			
<b>Subtotal (MEP/FP):</b>	<b>\$7,760</b>		<b>\$17,030</b>	<b>\$24,790</b>		<b>\$24,790</b>
<b>Site Issues:</b>						
233 At entrance. Site: Broken Stoop Step	\$4,540					
<b>Subtotal (Site):</b>	<b>\$4,540</b>			<b>\$4,540</b>		<b>\$4,540</b>
<b>Hendricks House Barn Subtotal:</b>	<b>\$27,010</b>		<b>\$17,030</b>	<b>\$44,040</b>		<b>\$44,040</b>

Capital Improvement and Maintenance Plan

SYSTEM CATEGORY (WITH ISSUES)

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		

Mayo Elementary School

Square Footage: 83,889 SF

Elevator Issues:

234 *Elevator*. Elevator: Elevator Walls and Floor Damage \$2,250

**Subtotal (Elevator):** **\$2,250** **\$2,250** **\$2,250**

Envelope Issues:

241 *East Facade*. Finishes (Exterior): Lintels Rusted \$3,000

238 *South Portion*. Finishes (Interior): Cracks in Wall, Flooring, and Hard Clings \$30,010

235 *West Facade*. Gutters and Downspouts: Buckled Downspout and Clogged Drains \$2,250

239 *East Facade*. Gutters and Downspouts: Gutter Joints Leaking \$97,490

240 *North Facade*. Gutters and Downspouts: Gutter Rivets Rusted \$3,740

237 *West facade*. Masonry: CMU Crack \$5,240

242 *West Facade*. Masonry: Masonry Efflorescence \$7,500

245 *West Facade*. Masonry: Minor Masonry Surface Spalling \$7,500

246 *Various Locations*. Masonry: Precast Masonry Damage \$15,010

243 *Southwest and Northeast Corner of Gym*. Renovation (Multiple Types): Masonry Water Infiltration and Roof Issue \$3,760

244 *South Facade, Right of Pod Door*. Renovation (Multiple Types): Masonry Water Infiltration Stain (Exterior) \$10,350

236 *South Facade*. Sealant (Exterior): Caulking Failed \$22,430

247 *East Facade*. Sealant (Exterior): Sealant Failures \$75,030

248 *West Facade*. Windows: Window Sashes Damaged \$3,740

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>Subtotal (Envelope):</b>	<b>\$271,310</b>	<b>\$15,740</b>		<b>\$287,050</b>		<b>\$287,050</b>

**Interior Issues:**

251 <i>Entire Building</i> . Doors: Metal Door Frame Damage						
249 <i>Cafeteria and Kitchen</i> . Finishes (Interior): Crack in Sheet Vinyl and Quarry Tile Floors			\$11,310			
250 <i>Gym</i> . Finishes (Interior): Head Protection on 2 Backboards	\$1,500					
252 <i>Boys Room 258</i> . Finishes (Interior): Mirror Damaged	\$900					
253 <i>Entire Building</i> . Finishes (Interior): Paint Damage (Interior)	\$662,200					
254 <i>Gym Equipment Room</i> . Finishes (Interior): VCT Floor Damage		\$15,000				
255 <i>Outside Room 276</i> . Finishes (Interior): Wall Tile Missing	\$1,500					
<b>Subtotal (Interior):</b>	<b>\$666,100</b>	<b>\$26,310</b>		<b>\$692,410</b>		<b>\$692,410</b>

**MEP/FP Issues:**

265 <i>Electric rooms</i> . Code (Depends on Other Work): Electric Room Clear Space Violations						
260 <i>Entire Building</i> . Electrical: Clock System Issues			\$87,750			
270 <i>Library</i> . Electrical: Floor Box Cover Issues (Library)	\$750					
271 <i>Pod commons</i> . Electrical: Floor Box Cover Issues (Pod Commons)	\$3,000					
279 <i>Exterior</i> . Electrical: Standby and Emergency Power						
259 <i>Fire Protection</i> . Finishes (Interior): Ceiling Tiles Missing	\$3,000					
269 <i>Entire Building</i> . Fire Alarm: Fire Alarm			\$859,950			
266 <i>Elevator</i> . FYI: Elevator						
280 <i>Women's room</i> . FYI: Standing Water						

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
256 Room 206B, IT Space. HVAC: Air Conditioning Unit Not Operating	\$0					
257 Boiler Room. HVAC: Boiler Age Concern		\$90,000				
258 Boiler Room. HVAC: Boiler Panels Rusting	\$3,760					
261 Women 204. HVAC: Convector Issue	\$5,250					
273 First Floor. HVAC: HV-4: Motor Side Panel is Missing	\$1,130					
274 Roof. HVAC: Kitchen Exhaust Fan Cowl is Damaged	\$2,250					
277 Entire Building. HVAC: No Automatic Temperature Controls	\$450,000					
281 Second Floor Ceiling. HVAC: Unit Heater Running Inappropriately	\$750					
282 Gym Storage. HVAC: Unit Vent Damage	\$1,500					
267 Exterior. Lighting: Exterior Lighting			\$1,190			
276 North Side of Gym. Lighting: Light Trim Missing	\$750					
262 Boiler Room. Plumbing: Domestic Cold Water Pressure Issue	\$1,500					
263 Boiler Room. Plumbing: Domestic Hot Water Issues	\$3,740					
264 Room 117. Plumbing: Drinking Fountain Not Working	\$7,500					
268 Staff 256, Classroom 239. Plumbing: Faucet Handle Missing	\$1,200					
272 Boiler Room. Plumbing: Heating Hot Water Pumps			\$22,500			
278 Classroom 273. Plumbing: Slow Sink Drain	\$750					
275 Supply 239 A - Kiln. Roofing: Leak at Kiln Vent Roof Penetration	\$2,590					
<b>Subtotal (MEP/FP):</b>	<b>\$489,420</b>	<b>\$1,037,700</b>	<b>\$23,690</b>	<b>\$1,550,810</b>		<b>\$1,550,810</b>

**\*Security Issues:**

283 Office. Electrical: Panic Switch

**Subtotal (\*Security):**



Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH ISSUES)						
System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Site Issues:						
284 North Side Corridor Exit. Site: Concrete Stoop Sloped Incorrectly				\$15,010		
285 South end. Site: Missing Curb Cut				\$3,740		
Subtotal (Site):		\$18,750		\$18,750	\$18,750	
Mayo Elementary School Subtotal:	\$1,426,830	\$1,100,750	\$23,690	\$2,551,270	\$2,551,270	

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		

**Municipal Light Department**

Square Footage: 14,719 SF

**Envelope Issues:**

286 <i>Brick Exterior.</i> Masonry: Brick and Mortar Damage	\$7,500					
287 <i>Brick Exterior.</i> Sealant (Exterior): Sealant Cracked		\$2,250				
<b>Subtotal (Envelope):</b>	<b>\$7,500</b>	<b>\$2,250</b>		<b>\$9,750</b>		<b>\$9,750</b>

**Interior Issues:**

288 <i>Lunch Room.</i> Renovation (Multiple Types): Acoustical Tile Ceiling Stains	\$750					
<b>Subtotal (Interior):</b>	<b>\$750</b>			<b>\$750</b>		<b>\$750</b>

**MEP/FP Issues:**

303 <i>Exterior.</i> Electrical: Standby Power						
295 <i>Entire Building.</i> Fire Alarm: Fire Alarm				\$155,400		
293 <i>Elevator.</i> FYI: Elevator						
301 <i>Roof.</i> FYI: Photovoltaic System						
289 <i>Mechanical Room.</i> HVAC: Boiler Flue Water Infiltration Issue	\$1,500					
290 <i>Mechanical Room.</i> HVAC: Boilers Age Concern				\$75,000		
291 <i>Mechanical Room.</i> HVAC: Chilled Water Insulation and Separator	\$2,250					
292 <i>Mechanical Room.</i> HVAC: Chiller and Condensing Unit Age				\$112,490		
302 <i>Lower Level Toilet Rooms and Locker areas.</i> HVAC: Roof Mounted Exhaust Fan Issue	\$7,500					
294 <i>Exterior.</i> Lighting: Exterior Lighting				\$75,600		
299 <i>Entire Building.</i> Lighting: Interior Lighting						

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
296 <i>Garage Bay</i> . Plumbing: Floor Drain Clogged	\$750					
297 <i>Bathrooms</i> . Plumbing: Flush Valves	\$750					
298 <i>Garage Bay</i> . Plumbing: Ice Machine Drain			\$3,750			
300 <i>Mechanical Room</i> . Plumbing: No Domestic Hot Water Recirc		\$22,500				
304 <i>Mechanical Room</i> . Plumbing: Water Heater Age	\$5,250					
<b>Subtotal (MEP/FP):</b>	<b>\$18,000</b>	<b>\$22,500</b>	<b>\$422,240</b>	<b>\$462,740</b>		<b>\$462,740</b>
<b>Municipal Light Department Subtotal:</b>	<b>\$26,250</b>	<b>\$24,750</b>	<b>\$422,240</b>	<b>\$473,240</b>		<b>\$473,240</b>

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>Public Safety Building</b>					Square Footage:	24,898 SF
<b>Interior Issues:</b>						
305 <i>Booking Area (Police Station)</i> . Renovation (Multiple Types): Stains on Secure Metal Ceiling	\$2,290					
<b>Subtotal (Interior):</b>	<b>\$2,290</b>			<b>\$2,290</b>		<b>\$2,290</b>
<b>MEP/FP Issues:</b>						
314 <i>Exterior</i> . Electrical: Standby and Emergency Power						
311 <i>Entire Building</i> . Fire Alarm: Fire Alarm						
313 <i>Fire Protection</i> . Fire Protection: Quick Response Sprinklers				\$3,760		
309 <i>Elevator</i> . FYI: Elevator						
306 <i>Mechanical Room</i> . HVAC: AHU-1 Chilled Water Piping Leak	\$7,760					
307 <i>Mechanical Room</i> . HVAC: AHU-1 Return Air Smoke Detector Question	\$3,450					
312 <i>Entire Building</i> . Lighting: Interior Lighting						
308 <i>Mechanical Room</i> . Plumbing: Domestic Hot Water	\$3,800					
310 <i>Apparatus Bay</i> . Plumbing: Extractor				\$11,340		
<b>Subtotal (MEP/FP):</b>	<b>\$15,010</b>		<b>\$15,100</b>	<b>\$30,110</b>		<b>\$30,110</b>
<b>Public Safety Building Subtotal:</b>	<b>\$17,300</b>		<b>\$15,100</b>	<b>\$32,400</b>		<b>\$32,400</b>

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Public Safety Building Annex					Square Footage:	
Envelope Issues:						
315 Hallway Near Front Entry (1st Floor). Roofing: Suspected Roof Leak	\$7,940					
Subtotal (Envelope):	\$7,940			\$7,940		\$7,940
MEP/FP Issues:						
318 Entire Building. Electrical: Electrical Distribution	\$3,760					
327 Lower level service bay. Electrical: Standby Power						
319 Entire Building. Emergency Lighting: Emergency Lighting	\$43,130					
322 Entire Building. Fire Alarm: Fire Alarm						
317 Boiler Room. HVAC: Chimney Base Needs to be Cleaned	\$860					
324 Various Locations. HVAC: Limited Ventilation in BSMT and TLT Rms						
326 Basement. HVAC: Stand-by Generator has no Exhaust Louver						
320 Exterior. Lighting: Exterior Lighting				\$10,500		
323 Entire Building. Lighting: Interior Lighting		\$136,500				
316 Men's Room. Plumbing: Broken Toilet Seat	\$90					
321 Men's room. Plumbing: Faulty Flush Valve	\$1,210					
325 Piping. Plumbing: No Pipe Insulation				\$10,500		
328 Storage Rm. Plumbing: Water Heater Age	\$7,760					
Subtotal (MEP/FP):	\$56,810	\$136,500	\$21,000	\$214,310		\$214,310
Public Safety Building Annex Subtotal:	\$64,750	\$136,500	\$21,000	\$222,250		\$222,250

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		

**Recreation Building**

Square Footage: 3,769 SF

**Code Issues:**

329 *Basement Bathroom*. Accessibility (Depends on Other Work):  
Bathroom Not Accessible \$29,250

**Subtotal (Code):** **\$29,250** **\$29,250**

**Envelope Issues:**

330 *Exterior doors*. Finishes (Exterior): Corner Guards Peeling \$1,490

331 *Roof*. Gutters and Downspouts: Gutter Damaged \$5,260

**Subtotal (Envelope):** **\$6,750** **\$6,750** **\$6,750**

**Interior Issues:**

333 *Meeting Room*. Finishes (Interior): Carpet Worn (Meeting Room) \$4,390

334 *Corridors offices and toilet rooms*. Finishes (Interior): Ceiling Grid  
Dirty and Discolored \$16,800

335 *Former cells*. Finishes (Interior): Cell Wall and Floor Damage

336 *Various Locations*. Finishes (Interior): CMU Wall Holes \$7,490

337 *Front left second office*. Finishes (Interior): Masonry Wall Crack \$3,740

338 *Meeting Room*. Finishes (Interior): Minors Cracks in Ceiling  
(Meeting Room)

339 *Basement*. Finishes (Interior): Paint Damage (Interior, Basement) \*1

341 *Basement Floor*. Finishes (Interior): Stains on Floor (Basement)\*1

342 *Server Room, Second FI Storage Room*. Finishes (Interior): VCT  
Flooring Damage (Server Room) \$3,750

332 *Basement*. Renovation (Multiple Types): Basement Repurposing

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
340 <i>Various Locations</i> . Renovation (Multiple Types): Stained Ceilings (Various Locations)	\$4,140					
<b>Subtotal (Interior):</b>	<b>\$4,140</b>	<b>\$15,620</b>	<b>\$20,550</b>	<b>\$40,310</b>		<b>\$40,310</b>

**MEP/FP Issues:**

348 <i>Entire Building</i> . Electrical: Electrical Distribution Mislabeled	\$3,740					
352 <i>Basement</i> . Electrical: Generator Replacement Option			\$225,000			
353 <i>Basement</i> . Electrical: Generator Standby Power*1						
350 <i>Entire Building</i> . Fire Alarm: Fire Alarm Device Issue	\$13,050					
351 <i>Entire Building</i> . Fire Protection: Fire Suppression System					\$103,740	
356 <i>Roof</i> . FYI: Photovoltaic System						
343 <i>Office</i> . HVAC: Baseboard Heater Disconnected	\$750					
344 <i>Basement</i> . HVAC: Basement Ventilation Issues*1						
345 <i>Bathrooms</i> . HVAC: Bathroom Exhaust Vent	\$0					
346 <i>Basement Studio</i> . HVAC: Ceiling Mounted Fan Coil Unit Dirty	\$750					
349 <i>Exterior</i> . Lighting: Exterior Lighting			\$25,200			
354 <i>Entire Building</i> . Lighting: Interior Lighting		\$63,180				
355 <i>Basement Electrical Room</i> . Lighting: Light Not Working*1	\$380					
347 <i>Mechanical Room</i> . Plumbing: Domestic Hot Water No Recirc	\$22,500					
357 <i>Main floor bathrooms</i> . Plumbing: Piping Insulation Missing					\$1,950	
358 <i>Various Locations (Former Cells, Basement)</i> . Plumbing: Unused Plumbing Fixture Issues*1	\$6,630					
359 <i>Various Locations</i> . Plumbing: Waste Piping Deterioration			\$4,500			
360 <i>Water Heater</i> . Plumbing: Water Heater Age		\$9,750				

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH ISSUES)						
System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Subtotal (MEP/FP):	\$47,800	\$72,930	\$254,700	\$375,430	\$105,690	\$481,120
Recreation Building Subtotal:	\$51,940	\$95,300	\$275,250	\$422,490	\$134,940	\$557,430



**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		

**Senior Center**

Square Footage: 9,269 SF

**Envelope Issues:**

362 <i>South Side</i> . Finishes (Exterior): Base Trim Damaged		\$2,240				
363 <i>Entire Building</i> . Finishes (Exterior): Dirty Siding		\$36,280				
366 <i>South side</i> . Finishes (Exterior): Paint Damage (Exterior)	\$3,000					
368 <i>Office in back</i> . Renovation (Multiple Types): Water Damage (Interior, Back Right)	\$1,550					
361 <i>Roof, left of entry</i> . Roofing: Asphalt Shingles Loose	\$1,500					
364 <i>Roof left of entry</i> . Roofing: Ice Dam Evidence	\$3,760					
365 <i>Roof left of entrance</i> . Roofing: Missing Ridge Vent Part	\$1,210					
367 <i>Low roof to right of entry</i> . Roofing: Roof Organic Growth	\$15,090					
<b>Subtotal (Envelope):</b>	<b>\$26,110</b>	<b>\$38,520</b>		<b>\$64,630</b>		<b>\$64,630</b>

**Interior Issues:**

369 <i>Vestibule, adjacent Tlt Rm, &amp; MPR</i> . Renovation (Multiple Types): Water Damage (Interior, Front)	\$3,100					
<b>Subtotal (Interior):</b>	<b>\$3,100</b>			<b>\$3,100</b>		<b>\$3,100</b>

**MEP/FP Issues:**

371 <i>Main Service</i> . Code (Depends on Other Work): Electric Equipment Clear Space Violations	\$0					
383 <i>Exterior</i> . Electrical: Standby power						
372 <i>Entire Building</i> . Emergency Lighting: Emergency Lighting					\$36,280	
375 <i>Entire Building</i> . Fire Alarm: Fire Alarm		\$90,680				

Capital Improvement and Maintenance Plan

SYSTEM CATEGORY (WITH ISSUES)

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
382 <i>Sprinklers</i> . Fire Protection: Quick Response Sprinklers	\$0					
376 <i>Entire Building</i> . FYI: Interior Lighting						
381 <i>Roof</i> . FYI: Photovoltaic System						
370 <i>Air conditioning units</i> . HVAC: Condensing Units and Warm Air Furnaces		\$52,650				
373 <i>Toilet Rooms 174 and 175</i> . HVAC: Exhaust Fan Operation	\$15,000					
377 <i>Roof</i> . HVAC: Kitchen Hood Exhaust Fan	\$2,250					
384 <i>Roof</i> . HVAC: Warm Air Furnace Flues Rusting	\$7,500					
374 <i>Exterior</i> . Lighting: Exterior Lighting		\$217,630				
378 <i>Unisex Bathroom</i> . Plumbing: Lavatory Faucet Issue	\$0					
379 <i>Men's Room, Women's Room</i> . Plumbing: Lavatory Pulled Out		\$4,500				
380 <i>Water Heater</i> . Plumbing: No Expansion Tank	\$0					
385 <i>Water Heater</i> . Plumbing: Water Heater Age	\$7,500					
<b>Subtotal (MEP/FP):</b>	<b>\$32,250</b>	<b>\$365,460</b>		<b>\$397,710</b>	<b>\$36,280</b>	<b>\$433,990</b>
<b>Site Issues:</b>						
386 <i>Entry</i> . Site: Paving Settled	\$7,500					
<b>Subtotal (Site):</b>	<b>\$7,500</b>			<b>\$7,500</b>		<b>\$7,500</b>
<b>Senior Center Subtotal:</b>	<b>\$68,960</b>	<b>\$403,980</b>		<b>\$472,940</b>	<b>\$36,280</b>	<b>\$509,220</b>

Capital Improvement and Maintenance Plan

SYSTEM CATEGORY (WITH ISSUES)

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		

Starbard Building

Square Footage: 5,627 SF

Code Issues:

387 First and Second Floors. Accessibility (Depends on Other Work): Door Hardware Not Accessible					\$13,450	
388 Stairs. Accessibility (Depends on Other Work): Handrails Not Compliant					\$33,640	
389 First and Second Floors. Accessibility (Depends on Other Work): No Accessible Toilet Rooms					\$33,640	
390 First and Second Floors. Accessibility (Depends on Other Work): No Braille Signage					\$2,930	
391 Exterior HC Ramp. Accessibility (Depends on Other Work): Ramp Not Compliant					\$33,640	

**Subtotal (Code):** **\$117,300** **\$117,300**

Envelope Issues:

394 Assessor's Office. Masonry: Chimney Leak	\$3,760
393 Basement. Site: Basement Moisture Issue	\$7,500
392 Building. Windows: Aluminum Storm Windows Fair Condition	
395 Entire Building. Windows: Wood Windows Fair to Poor Condition	\$194,060

**Subtotal (Envelope):** **\$205,320** **\$205,320** **\$205,320**

Interior Issues:

396 Entire Building. Finishes (Interior): Carpet in Poor Condition	\$58,480
397 Third Floor. Finishes (Interior): Ceilings Cracked	\$4,750

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
398 <i>Men's and Women's Rooms. Finishes (Interior): Toilet Room Finishes in Poor Condition</i>				\$117,000		
<b>Subtotal (Interior):</b>	<b>\$63,230</b>	<b>\$117,000</b>		<b>\$180,230</b>		<b>\$180,230</b>

**MEP/FP Issues:**

401 <i>Basement. Code (Depends on Other Work): Clearspace Violations</i>				\$0		
416 <i>Boiler Room. Code (Depends on Other Work): Oil Tanks</i>	\$7,500					
417 <i>Basement. Code (Depends on Other Work): Service Equipment Clear Space Violations</i>				\$22,540		
402 <i>Entire Building. Electrical: Cloth Wire Insulation</i>	\$51,060					
403 <i>Boiler Room. Electrical: Communication Wiring over Vent Connector</i>	\$1,500					
405 <i>Basement. Electrical: Electric Service Equipment</i>	\$64,690					
406 <i>Elevator. Elevator: Elevator</i>						
407 <i>Entire Building. Emergency Lighting: Emergency Egress Lighting</i>					\$54,890	
412 <i>Entire Building. Fire Alarm: Fire Alarm</i>					\$87,840	
399 <i>Exterior air conditioning equipment.. HVAC: Air Cooled Condensing Units</i>				\$33,080		
408 <i>3rd floor bathroom. HVAC: Exhaust Fan</i>	\$5,350					
409 <i>Men's Room. HVAC: Exhaust Fan (Men's Room)</i>				\$15,750		
410 <i>Women's Room. HVAC: Exhaust Fan (Women's Room)</i>	\$12,940					
411 <i>Exterior. Lighting: Exterior Lighting</i>				\$9,450		
413 <i>Entire Building. Lighting: Interior Lighting</i>		\$154,250				
400 <i>3rd floor bathroom. Plumbing: Bathroom Appears Old</i>				\$7,510		
404 <i>Boiler Room. Plumbing: Domestic Water Supply</i>	\$0					

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
414 3rd floor kitchen. Plumbing: Kitchen Sink				\$2,310		
415 Bathrooms. Plumbing: Lavatory Piping Not Insulated	\$1,210					
418 Boiler Room. Plumbing: Tub Sink Sump Pump	\$3,760					
419 Men's Room. Plumbing: Water Damage at Lavatory	\$2,290					
420 Boiler Room. Plumbing: Water Heater	\$7,500					
421 Basement. Plumbing: Water Piping				\$6,750		
<b>Subtotal (MEP/FP):</b>	<b>\$157,800</b>	<b>\$154,250</b>	<b>\$97,390</b>	<b>\$409,440</b>	<b>\$142,730</b>	<b>\$552,170</b>
<b>Structural Issues:</b>						
422 Roof and Floor Framing. Structural: Structural Issues (Additional Investigation Needed)	\$0					
<b>Subtotal (Structural):</b>	<b>\$0</b>			<b>\$0</b>		<b>\$0</b>
<b>Starbard Building Subtotal:</b>	<b>\$426,350</b>	<b>\$271,250</b>	<b>\$97,390</b>	<b>\$794,990</b>	<b>\$260,030</b>	<b>\$1,055,020</b>

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		

**Town Hall** Square Footage: 7,020 SF

**Code Issues:**

423 <i>First Floor Corridor.</i> Accessibility (Depends on Other Work): Corridor Too Narrow (Accessibility)					\$0	
424 <i>Entire Building.</i> Accessibility (Depends on Other Work): Door Hardware Accessibility Concerns						
425 <i>East Side.</i> Accessibility (Depends on Other Work): Railings Not Compliant (Ramp)					\$19,500	
427 <i>Second Floor Meeting Room Stage.</i> Accessibility (Depends on Other Work): Stage Not Accessible					\$0	
428 <i>Front and Back of Building.</i> Accessibility (Depends on Other Work): Stairs Not Accessible						
429 <i>First Floor Men's and Women's Toilet Rooms.</i> Accessibility (Depends on Other Work): Toilet Rooms Not Accessible					\$390,000	
426 <i>East, Rear Entrance.</i> Code (Depends on Other Work): Railings Not Compliant (Rear Steps)						
<b>Subtotal (Code):</b>					<b>\$409,500</b>	<b>\$409,500</b>

**Elevator Issues:**

430 <i>Elevator.</i> Elevator: Elevator Wall Damage				\$22,500		
<b>Subtotal (Elevator):</b>				<b>\$22,500</b>	<b>\$22,500</b>	<b>\$22,500</b>

**Envelope Issues:**

438 <i>Front Entrance Doors.</i> Accessibility (Depends on Other Work): Front Entrance Not Accessible				\$0		
435 <i>West Side Fire escape.</i> Doors: Fire Escape Doors (Meeting Room)		\$5,250				

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
436 <i>Top of Fire Escape</i> . Doors: Fire Escape Doors (Stair to Balcony)	\$3,740					
433 <i>Entire</i> . Finishes (Exterior): Exterior Siding and Trim Paint Damage		\$97,500				
434 <i>Entire</i> . Finishes (Exterior): Exterior Siding and Trim Wood Damage		\$148,200				
437 <i>West Side, Exterior</i> . Finishes (Exterior): Fire Escape Issues		\$0				
442 <i>Exterior</i> . Finishes (Exterior): Paint Deterioration (Exterior)		\$67,700				
441 <i>North Side Elevation (rear)</i> . HVAC: Louver Damaged	\$3,740					
431 <i>Basement Ceiling</i> . Insulation: Ceiling Insulation Exposed to Moisture	\$11,250					
439 <i>Front Exterior Stairs</i> . Masonry: Front Stair Issues (Exterior)		\$11,230				
444 <i>Basement Floor</i> . Renovation (Multiple Types): Standing Water on Concrete and Dirt Floor	\$0					
443 <i>Entire Building</i> . Roofing: Roofing Deterioration		\$22,630				
432 <i>Front Columns</i> . Site: Column Base Settlement			\$3,750			
440 <i>Kitchen, Second Floor, Front Facade</i> . Windows: Kitchen Window Adjustment						
445 <i>Front of Building</i> . Windows: Window Draft						
<b>Subtotal (Envelope):</b>	<b>\$23,980</b>	<b>\$347,260</b>	<b>\$3,750</b>	<b>\$374,990</b>		<b>\$374,990</b>

**Interior Issues:**

446 <i>Basement</i> . Code (Depends on Other Work): Basement Stairs Not Compliant					\$9,750	
448 <i>At the back of the First Floor Corridor</i> . Doors: First Floor Corridor Door Issues	\$2,250					
447 <i>Entire Building</i> . Finishes (Interior): Carpet Worn		\$108,990				
451 <i>Kitchen, Second Floor</i> . Finishes (Interior): Kitchen Cabinets and Countertop Worn						

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
452 Kitchen, Second Floor. Finishes (Interior): Kitchen Ceiling Peeling		\$7,410				
453 Entire Building. Finishes (Interior): Paint Deterioration (Interior)		\$68,450				
455 Front Entrance Vestibule/Stair. Finishes (Interior): Wall Damage at FA Device			\$3,010			
456 Second Floor Elevator Lobby. Finishes (Interior): Wall Damage at Second Fl. Elevator Lobby	\$0					
457 Various Locations (Qty: 2). Finishes (Interior): Wall/Ceiling Holes at Various Locations		\$1,500				
458 Various Locations. Finishes (Interior): Window Treatment Damage			\$7,560			
450 Kitchen. FYI: Flooring Material Concern	\$0					
449 Second Floor in Room to Left of Stage. Renovation (Multiple Types): Floor Dips		\$5,260				
454 Second Floor Meeting Room. Renovation (Multiple Types): Plaster Ceiling Damage	\$2,940					
<b>Subtotal (Interior):</b>	<b>\$5,190</b>	<b>\$191,610</b>	<b>\$10,570</b>	<b>\$207,370</b>	<b>\$9,750</b>	<b>\$217,120</b>

**MEP/FP Issues:**

475 Basement. Code (Depends on Other Work): Service Equipment Clear Space Violations					\$9,750	
479 Basement. Code (Depends on Other Work): Unused Oil Tanks in Basement					\$19,500	
461 Basement. Electrical: Electric Service Equipment						
477 Second Floor Rear Right Office. Electrical: Time Clock Noise				\$2,240		
463 Entire Building. Emergency Lighting: Emergency Egress Lighting						



**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered (Escalated to Yr 6)	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
473 Entire Building. Finishes (Interior): Paint Damage (Interior, Radiators)				\$11,700		
466 Entire Building. Fire Alarm: Fire Alarm					\$41,060	
462 Elevator. FYI: Elevator						
459 Boiler Room. HVAC: Boiler Age	\$45,000					
460 Boiler Room. HVAC: Boiler Piping Uninsulated	\$22,500					
464 Men's Room. HVAC: Exhaust Fan Volume			\$4,500			
468 Various Locations. HVAC: Insulation Detaching	\$2,240					
465 Exterior. Lighting: Exterior Lighting			\$81,900			
469 Entire Building. Lighting: Interior Lighting			\$176,910			
471 Second to Last, Rear Right Office (1st Fl). Lighting: Light Fixture Missing Cover	\$750					
467 Basement. Plumbing: Hot & Cold Water Piping Not Insulated			\$22,050			
470 Second Floor Kitchen. Plumbing: Kitchen Faucet Hot Water Delay			\$3,750			
472 Basement. Plumbing: Open Storm Drain			\$1,500			
474 Bathrooms. Plumbing: Plumbing Fixtures Dated and Damaged			\$15,110			
476 Building Heating System. Plumbing: Steam Trap Maintenance	\$0					
478 Basement. Plumbing: Unused Indirect Waste Pipe	\$2,250					
480 Boiler Room. Plumbing: Water Heater Age			\$7,500			
481 Basement. Renovation (Multiple Types): Wet Basement Conditions	\$7,500					
<b>Subtotal (MEP/FP):</b>	<b>\$80,240</b>	<b>\$120,710</b>	<b>\$206,450</b>	<b>\$407,400</b>	<b>\$70,310</b>	<b>\$477,710</b>
<b>Structural Issues:</b>						
482 Entire. Structural: Roof Framing Damage			\$19,500			

Capital Improvement and Maintenance Plan						
SYSTEM CATEGORY (WITH ISSUES)						
System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Subtotal (Structural):		\$19,500		\$19,500		\$19,500
Town Hall Subtotal:	\$109,410	\$679,080	\$243,270	\$1,031,760	\$489,560	\$1,521,320

**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		

**Trout Brook Function Hall**

Square Footage: 1,599 SF

**Code Issues:**

483 <i>Main Entrance to Enclosed Building.</i> Accessibility (Depends on Other Work): Entrance Not Accessible					\$100,910	
484 <i>Front.</i> Accessibility (Depends on Other Work): Ramp at Open Structure Not Accessible					\$9,750	

**Subtotal (Code):** **\$110,660** **\$110,660**

**Envelope Issues:**

488 <i>Various Locations.</i> Accessibility (Depends on Other Work): Secondary Egress Hardware Not Accessible					\$1,350	
485 <i>Rear and Rear Side Walls.</i> Finishes (Exterior): Damaged Exterior Walls	\$16,560					
486 <i>Various Locations (incl. Mechanical Room).</i> Roofing: Minor Roof Leak(s)	\$4,140					
487 <i>Roof of Open Structure.</i> Roofing: Roof Damage	\$98,330					
489 <i>Exterior, Various Locations.</i> Windows: Window Paint Peeling (Large Windows)		\$8,780				

**Subtotal (Envelope):** **\$119,030** **\$8,780** **\$127,810** **\$1,350** **\$129,160**

**Interior Issues:**

490 <i>Entire Building.</i> Finishes (Interior): VCT Floor Wear				\$30,240		
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**Subtotal (Interior):** **\$30,240** **\$30,240**

**MEP/FP Issues:**

492 <i>Entire Building.</i> Emergency Lighting: Emergency Egress Lighting		\$15,600				
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**Capital Improvement and Maintenance Plan**

**SYSTEM CATEGORY (WITH ISSUES)**

System Category and Issues	Total Project Cost				Cost if Triggered <i>(Escalated to Yr 6)</i>	Total
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
494 <i>Entire Building.</i> Fire Alarm: Fire Alarm						
499 <i>Well Pump.</i> FYI: Well Pump						
491 <i>Building.</i> HVAC: Carbon Monoxide Sensors	\$290					
495 <i>Warm air furnace.</i> HVAC: Furnace Age	\$12,940					
493 <i>Exterior.</i> Lighting: Exterior Lighting	\$8,800					
496 <i>Entire Building.</i> Lighting: Interior Lighting		\$43,680				
497 <i>Entire Building.</i> Lighting: Lighting Controls		\$6,240				
498 <i>Water Heater.</i> Plumbing: Water Heater Age	\$7,500					
<b>Subtotal (MEP/FP):</b>	<b>\$29,530</b>	<b>\$65,520</b>		<b>\$95,050</b>		<b>\$95,050</b>
<b>Trout Brook Function Hall Subtotal:</b>	<b>\$148,560</b>	<b>\$74,300</b>	<b>\$30,240</b>	<b>\$253,100</b>	<b>\$112,010</b>	<b>\$365,110</b>

**F.6 PROJECT LIST WITH ISSUES**

The following chart shows the project list and issues that have been assigned to the suggested project

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Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		

**ACCESSIBILITY (DEPENDS ON OTHER WORK)**

**P1 Accessibility Upgrades (Damon House)**

Damon House	\$223,043			\$223,043		\$223,043
25 Stairs - Non-Compliant Handrails						
20 Entire Building, mostly Second Floor - Door Hardware Not Accessible (Knobs)						
23 Entire building - No Accessible Vertical Circulation						
21 Front and Rear Entry - Entry Not Accessible						
24 First Floor - No Braille Signage						
22 All floors (3) - No Accessible Toilet Rooms						
<b>P1 Accessibility Upgrades (Damon House) Subtotal:</b>	<b>\$223,043</b>			<b>\$223,043</b>		<b>\$223,043</b>

**BUILDING SYSTEMS**

**P2 Limited MEP Improvements (Public Safety)**

Public Safety Building			\$11,340	\$11,340		\$11,340
310 Apparatus Bay - Extractor						
Public Safety Building Annex			\$21,000	\$21,000		\$21,000
325 Piping - No Pipe Insulation						
320 Exterior - Exterior Lighting						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>P2 Limited MEP Improvements (Public Safety) Subtotal:</b>				<b>\$32,340</b>	<b>\$32,340</b>	<b>\$32,340</b>
<b>P3 MEP Improvements (Historic)</b>						
Damon House	\$196,133			\$196,133		\$196,133
29 Basement - No Insulation at Basement Ceiling						
37 Basement - Boiler Combustion Air Intake Issue						
48 Basement - Oil Tanks Abandoned						
47 Basement - No Expansion Tank (Boiler/Water Heater)						
39 Basement - Domestic Water Piping Not Insulated						
46 First Floor Bathroom - Lavatory Damage						
38 Bathrooms - Dated Plumbing Fixtures						
42 Bathrooms - Exhaust Fan Exhaust Air Issue						
40 Basement - Electric Service Equipment						
45 Entire Building - Interior Lighting						
43 Exterior - Exterior Lighting						
41 Entire Building - Emergency Egress Lighting						
44 Entire Building - Fire Alarm						



Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Hendricks House	\$162,172			\$162,172		\$162,172
211 Boiler - Condensing boiler combustion air intake						
220 Basement - Former Boiler and Piping Concern						
225 Basement - Oil Tanks						
212 Basement - Damp conditions in the basement						
223 2nd floor bathroom - Lavatory Waste						
226 Basement - Pipe Insulation						
213 Basement - Domestic hot water						
219 General - Fire Suppression System						
222 Entire Building - Knob and Tube Wiring						
216 Entire Building - Exposed BX and NM cable						
210 Entire Building - Cloth Wire Insulation						
227 Entire Building - Ungrounded Receptacles						
214 Basement - Electric Service Equipment						
221 Entire Building - Interior Lighting						
224 Entire Building - Lighting Controls						
217 Exterior - Exterior Lighting						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
215 Entire Building - Emergency Egress Lighting						
218 Entire Building - Fire Alarm						
Hendricks House Barn	\$21,756			\$21,756		\$21,756
232 Entire Building - Interior Lighting						
231 Building Entrance - Improper Wiring Method to Barn						
<b>P3 MEP Improvements (Historic) Subtotal:</b>	<b>\$380,060</b>			<b>\$380,060</b>		<b>\$380,060</b>
<b>P4 MEP Improvements (Municipal Light)</b>						
Municipal Light Department			\$422,249	\$422,249		\$422,249
290 Mechanical Room - Boilers Age Concern						
298 Garage Bay - Ice Machine Drain						
292 Mechanical Room - Chiller and Condensing Unit Age						
294 Exterior - Exterior Lighting						
295 Entire Building - Fire Alarm						
<b>P4 MEP Improvements (Municipal Light) Subtotal:</b>			<b>\$422,249</b>	<b>\$422,249</b>		<b>\$422,249</b>

**P5 MEP Improvements (Starbard)**

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Starbard Building			\$68,093	\$68,093		\$68,093
399 Exterior air conditioning equipment. - Air Cooled Condensing Units						
409 Men's Room - Exhaust Fan (Men's Room)						
400 3rd floor bathroom - Bathroom Appears Old						
414 3rd floor kitchen - Kitchen Sink						
411 Exterior - Exterior Lighting						
<b>P5 MEP Improvements (Starbard) Subtotal:</b>			<b>\$68,093</b>	<b>\$68,093</b>		<b>\$68,093</b>
<b>P6 MEP Improvements (Various Buildings)</b>						
Dawson Pool Complex	\$223,112			\$223,112		\$223,112
155 Pool Heater Gas Piping - Drip and Sediment Trap Leg Incorrect						
164 Water Heater Room - Water Heater Age						
160 Pool Equipment Room - No Water Supply Backflow Preventer						
158 Pool Equipment Room - Hose Connections Issues						
159 Second Floor Multipurpose Room - Kitchen Sink						
157 Entire Building - Fire Alarm						
162 Exterior - Receptacles Covers Not Waterproof						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Eagle Lake Bath House	\$157,446			\$157,446		\$157,446
175 Entire Building - Plumbing Fixture Traps Drying Out						
172 Men's Room - Missing Clean Out Plug						
170 ADA bathroom - Lavatory Piping Insulation Missing						
176 Utility Room - Water Heater						
169 Entire Building - Interior Lighting Issues						
168 Exterior - Exterior Lighting Issues						
171 Entire Building - Lighting Controls						
173 Entire Building - No Emergency Egress Lighting						
165 ADA Toilet Room - Toilet Not Accessible						
Recreation Building	\$86,512			\$86,512		\$86,512
346 Basement Studio - Ceiling Mounted Fan Coil Unit Dirty						
345 Bathrooms - Bathroom Exhaust Vent						
359 Various Locations - Waste Piping Deterioration						
360 Water Heater - Water Heater Age						
348 Entire Building - Electrical Distribution Mislabeled						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
354 Entire Building - Interior Lighting						
350 Entire Building - Fire Alarm Device Issue						
343 Office - Baseboard Heater Disconnected						
Trout Brook Function Hall	\$87,499			\$87,499		\$87,499
495 Warm air furnace - Furnace Age						
491 Building - Carbon Monoxide Sensors						
498 Water Heater - Water Heater Age						
496 Entire Building - Interior Lighting						
497 Entire Building - Lighting Controls						
493 Exterior - Exterior Lighting						
492 Entire Building - Emergency Egress Lighting						
<b>P6 MEP Improvements (Various Buildings) Subtotal:</b>	<b>\$554,569</b>			<b>\$554,569</b>		<b>\$554,569</b>
<b>P7 MEP/FP Improvements (School) - Year 1 to 3</b>						
Davis Hill Elementary School	\$219,722			\$219,722		\$219,722
57 Entire Building - Exterior Wall Pack Lights Issues						
90 Entire Building - Failed Refrigerant Line Insulation						
87 Boys and Girls 174 and 175 - Exhaust Fan Issue						
79 Boiler Room - Boiler Panels Rusting						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
104 Stair #2 First Floor - Wall mounted cabinet heater						
96 IT Room - IT Room Condensing Unit Not Working						
100 Air Cooled Condensing Units - Refrigerant Piping						
101 Storeroom across from the Kitchen - Room Overheating						
83 Boiler Room - Domestic Hot Water						
98 Boiler Room - P&T Relief Valve on Water Heater Missing						
78 Boiler Room - Boiler Flue Issue						
82 First Floor Laundry - Cloths Dryer Duct						
95 Music Room - Hot Water Not Working (Music Room)						
84 Corridor 230 - Drinking Fountain Not Working						
99 Fire Protection - Quick Response Sprinklers						
105 Fire Protection - Water Supply Concerns						
102 Various Locations - Several Light Fixtures Out						
88 Kitchen - Exhaust Fan Noise						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Dawson Elementary School	\$864,898			\$864,898		\$864,898
129 Boiler Room - Boiler Panels Rusting						
140 Roof - Kitchen Exhaust Fan EF-7						
143 Roof - Roof Mounted ACC Unit (#TTA060)						
139 Roof - Kitchen Cooler/Freezer Condensing Units						
145 Nurse's Office - Sink Faucet Sticks						
132 Room B-36, Room C-20 - Drinking Fountain						
147 Boiler Room - Water Heater Age						
127 Kitchen - Bathroom Flush Valve (Staff, by Cafeteria)						
134 Roof, Various Fans - Exhaust Fans Issues						
137 Entire Building - Fire Alarm Age						
144 Roof - Roof Mounted ACC Unit (#YCJD48)						
Mayo Elementary School	\$873,421			\$873,421		\$873,421
270 Library - Floor Box Cover Issues (Library)						
258 Boiler Room - Boiler Panels Rusting						
257 Boiler Room - Boiler Age Concern						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
256 Room 206B, IT Space - Air Conditioning Unit Not Operating						
274 Roof - Kitchen Exhaust Fan Cowl is Damaged						
261 Women 204 - Convactor Issue						
273 First Floor - HV-4: Motor Side Panel is Missing						
282 Gym Storage - Unit Vent Damage						
281 Second Floor Ceiling - Unit Heater Running Inappropriately						
263 Boiler Room - Domestic Hot Water Issues						
262 Boiler Room - Domestic Cold Water Pressure Issue						
264 Room 117 - Drinking Fountain Not Working						
268 Staff 256, Classroom 239 - Faucet Handle Missing						
269 Entire Building - Fire Alarm						
271 Pod commons - Floor Box Cover Issues (Pod Commons)						
276 North Side of Gym - Light Trim Missing						
<b>P7 MEP/FP Improvements (School) - Year 1 to 3 Subtotal:</b>	<b>\$1,958,041</b>			<b>\$1,958,041</b>		<b>\$1,958,041</b>

P8 MEP/FP Improvements (School) - Year 8 to 10



Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Davis Hill Elementary School			\$1,128,215	\$1,128,215		\$1,128,215
77 Boiler Room - Boiler Age						
94 Boiler Room - Heating Hot Water Pumps Age						
89 Exterior - Exterior Site Lighting Issues						
91 Entire Building - Fire Alarm						
81 Entire Building - Clock System						
Dawson Elementary School			\$364,214	\$364,214		\$364,214
130 Boiler Room - Boilers						
138 Boiler Room - Hot Water Pumps Age						
142 Roof - Roof Mounted ACC Unit (#PFC027A)						
135 Roof - Exhaust Fans on Roof						
141 Bathrooms C-20 & C-21 - Plumbing Fixtures Age						
128 Bathrooms B-10 & B-11 - Bathroom Flush Valves (by Cafeteria)						
136 Exterior - Exterior Lighting						
131 Entire Building - Clock System Issues						
Mayo Elementary School			\$118,199	\$118,199		\$118,199
272 Boiler Room - Heating Hot Water Pumps						

**Capital Improvement and Maintenance Plan**

**PROJECT LIST WITH ISSUES**

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
267 Exterior - Exterior Lighting						
260 Entire Building - Clock System Issues						
<b>P8 MEP/FP Improvements (School) - Year 8 to 10 Subtotal:</b>			<b>\$1,610,627</b>	<b>\$1,610,627</b>		<b>\$1,610,627</b>
<b>P9 MEP/FP Improvements (Senior Center)</b>						
Senior Center	\$387,618			\$387,618		\$387,618
373 Toilet Rooms 174 and 175 - Exhaust Fan Operation						
370 Air conditioning units - Condensing Units and Warm Air Furnaces						
384 Roof - Warm Air Furnace Flues Rusting						
377 Roof - Kitchen Hood Exhaust Fan						
378 Unisex Bathroom - Lavatory Faucet Issue						
385 Water Heater - Water Heater Age						
380 Water Heater - No Expansion Tank						
379 Men's Room, Women's Room - Lavatory Pulled Out						
374 Exterior - Exterior Lighting						
372 Entire Building - Emergency Lighting						
375 Entire Building - Fire Alarm						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
<b>P9 MEP/FP Improvements (Senior Center) Subtotal:</b>	<b>\$387,618</b>			<b>\$387,618</b>		<b>\$387,618</b>

**FINISHES (EXTERIOR)**

**P10 Exterior Finishes Upgrades (Historic)**

Damon House	\$247,406			\$247,406		\$247,406
30 Exterior - Paint Peeling (Exterior)						
26 Roof - Asphalt Shingle Deterioration						
33 Entire Building - Wood Windows in Poor Condition						
28 Exterior - Foundation Masonry Items						
31 Exterior Steps and Porches (3 locations) - Wood Deck Finish Deterioration						
32 Various Locations (Qty: +/-3) - Wood Trim Holes						
Hendricks House Barn	\$20,719			\$20,719		\$20,719
229 Entire Building - Siding in Poor Condition						
228 Exterior Walls - Rotted Damaged Windows						
233 At entrance - Broken Stoop Step						
<b>P10 Exterior Finishes Upgrades (Historic) Subtotal:</b>	<b>\$268,125</b>			<b>\$268,125</b>		<b>\$268,125</b>

**FINISHES (INTERIOR)**

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		

**P11 Interior Finish Improvements (Gale Library)**

Gale Free Library			\$430,920	\$430,920		\$430,920
187 Entire Building - Carpet Worn						
191 Various Locations - Paint Damage (Interior)						

<b>P11 Interior Finish Improvements (Gale Library) Subtotal:</b>			<b>\$430,920</b>	<b>\$430,920</b>		<b>\$430,920</b>
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**P12 Interior Finish Improvements (Schools)**

Davis Hill Elementary School		\$1,489,469		\$1,489,469		\$1,489,469
69 Gym Entrance from the Corridor - Door Damage (Gym)						
68 Entire Building - Ceiling Tile Damage						
67 Various Locations - Carpet Wear and Tear						
70 Backboards in Gym - Head Protection Missing or Hanging Off						
80 Various Locations - Ceiling Tiles Missing						
72 Entire Building - Paint Damage (Interior)						
73 Stairs - Stair Tread Scuffs						
74 Various Locations - VCT Flooring Damage						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Dawson Elementary School		\$1,430,033		\$1,430,033		\$1,430,033
124 Area of large skylight over library - Water Damage from Roof						
119 Interior (Entire Building) - Paint Damage (Interior)						
115 Entire Building - Ceiling Tiles Damage						
114 Various Locations (Small Offices) - Carpet Worn						
121 Various Locations - VCT Damage						
122 Various Locations - Wall Base Missing (Limited Areas)						
123 Corridors - Wallpaper Detaching						
125 Gym - Wood Stairs at Stage Worn						
Mayo Elementary School		\$816,609		\$816,609		\$816,609
253 Entire Building - Paint Damage (Interior)						
254 Gym Equipment Room - VCT Floor Damage						
250 Gym - Head Protection on 2 Backboards						
249 Cafeteria and Kitchen - Crack in Sheet Vinyl and Quarry Tile Floors						
251 Entire Building - Metal Door Frame Damage						
259 Fire Protection - Ceiling Tiles Missing						

**Capital Improvement and Maintenance Plan**

**PROJECT LIST WITH ISSUES**

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
238 South Portion - Cracks in Wall, Flooring, and Hard Clings						
255 Outside Room 276 - Wall Tile Missing						
252 Boys Room 258 - Mirror Damaged						
<b>P12 Interior Finish Improvements (Schools) Subtotal:</b>		<b>\$3,736,110</b>		<b>\$3,736,110</b>		<b>\$3,736,110</b>
<b>P13 Interior Finishes Upgrades (Historic)</b>						
Damon House		\$76,440		\$76,440		\$76,440
35 Entire building (interior) - Paint Damage (Interior)						
34 Entire Building - Carpet in Poor Condition						
36 Various Locations (i.e. Lobby) - Wallpaper Damage						
Hendricks House		\$22,523		\$22,523		\$22,523
207 Kitchen - 2x2 Holes Cut In Ceiling						
208 Entire Building - Aged Paint						
209 Entire Building - Worn Floors						
Hendricks House Barn		\$1,024		\$1,024		\$1,024
230 Near Front Entry - Hole in Wood Floor						
<b>P13 Interior Finishes Upgrades (Historic) Subtotal:</b>		<b>\$99,986</b>		<b>\$99,986</b>		<b>\$99,986</b>

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
P14 Noted for Information (Not Part of Project)						
Chaffins Sub-Station Fire Department						
1	Entire Building - No Accessible Hardware					
Davis Hill Elementary School						
71	Library - IT and Library Office Configuration					
86	Elevator - Elevator					
Dawson Elementary School						
120	Near Entrance - Skylight Cardboard Frame					
118	Room B34 - Door Missing					
Dawson Pool Complex						
163	Roof mounted exhaust fan - Roof Fan Age					
161	Pool Heater Area - Pool Heater Age					
Eagle Lake Bath House					\$19,500	\$19,500
167	Exhaust Fans - Building Ventilation Fan Age					
174	Entire Building - No Fire Alarm					
Gale Free Library						
196	Elevator - Elevator					

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Mayo Elementary School						
280 <i>Women's room</i> - Standing Water						
266 <i>Elevator</i> - Elevator						
Municipal Light Department						
299 <i>Entire Building</i> - Interior Lighting						
293 <i>Elevator</i> - Elevator						
301 <i>Roof</i> - Photovoltaic System						
Public Safety Building						
312 <i>Entire Building</i> - Interior Lighting						
311 <i>Entire Building</i> - Fire Alarm						
309 <i>Elevator</i> - Elevator						
Public Safety Building Annex						
326 <i>Basement</i> - Stand-by Generator has no Exhaust Louver						
324 <i>Various Locations</i> - Limited Ventilation in BSMT and TLT Rms						
322 <i>Entire Building</i> - Fire Alarm						
Recreation Building						
356 <i>Roof</i> - Photovoltaic System						



Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
335 Former cells - Cell Wall and Floor Damage						
338 Meeting Room - Minors Cracks in Ceiling (Meeting Room)						
Senior Center						
381 Roof - Photovoltaic System						
376 Entire Building - Interior Lighting						
Starbard Building						
406 Elevator - Elevator						
Town Hall						
424 Entire Building - Door Hardware Accessibility Concerns						
440 Kitchen, Second Floor, Front Facade - Kitchen Window Adjustment						
462 Elevator - Elevator						
450 Kitchen - Flooring Material Concern						
Trout Brook Function Hall						
499 Well Pump - Well Pump						
494 Entire Building - Fire Alarm						
<b>P14 Noted for Information (Not Part of Project) Subtotal:</b>					<b>\$19,500</b>	<b>\$19,500</b>

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		

**LIGHTING**

**P15 Exterior Lighting Upgrades (Recreation)**

Recreation Building			\$25,200	\$25,200		\$25,200
349 Exterior - Exterior Lighting						
<b>P15 Exterior Lighting Upgrades (Recreation) Subtotal:</b>			<b>\$25,200</b>	<b>\$25,200</b>		<b>\$25,200</b>

**MAINTENANCE**

**P16 Maintenance Items**

Damon House					\$46,800	\$46,800
27 Multiple locations - Cracked Glass Storm Windows						
50 Left Bay Window at Foundation - Erosion at Grade						
49 Basement - Panelboard Clear Space Violations						
Davis Hill Elementary School					\$1,170	\$1,170
97 Stairwell #3 Exit - Leaking Fan Coil Unit						
75 IT Room - AC Unit Not Working (IT Room)						
92 Kitchen - Freezer Condensation Damage						
85 Electric Rooms - Electric Room Clear Space Violations						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
55 <i>Outside Kitchen</i> - Drain Outside Kitchen Clogged						
103 <i>Exterior</i> - Standby and Emergency Power						
Dawson Elementary School					\$2,194	\$2,194
126 <i>Boiler Room</i> - AHU-2 Condensate Leak						
133 <i>Electric rooms</i> - Electric Room Clear Space Violations						
146 <i>Exterior</i> - Standby and Emergency Power						
117 <i>Emergency Electrical Room (B39A)</i> - Door Hardware Missing (Emergency Elec.)						
Dawson Pool Complex					\$1,170	\$1,170
156 <i>Main Service, Pump House</i> - Electric Room Clear Space Violations						
Gale Free Library					\$3,713	\$3,713
195 <i>Main Electric room</i> - Electric Room Clear Space Violations						
192 <i>Main Stair</i> - Rubber Stair Treads Lifting						
Mayo Elementary School					\$4,269	\$4,269
234 <i>Elevator</i> - Elevator Walls and Floor Damage						
278 <i>Classroom 273</i> - Slow Sink Drain						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
265 <i>Electric rooms</i> - Electric Room Clear Space Violations						
279 <i>Exterior</i> - Standby and Emergency Power						
Municipal Light Department					\$12,718	\$12,718
291 <i>Mechanical Room</i> - Chilled Water Insulation and Separator						
302 <i>Lower Level Toilet Rooms and Locker areas</i> - Roof Mounted Exhaust Fan Issue						
296 <i>Garage Bay</i> - Floor Drain Clogged						
297 <i>Bathrooms</i> - Flush Valves						
303 <i>Exterior</i> - Standby Power						
Public Safety Building					\$3,491	\$3,491
313 <i>Fire Protection</i> - Quick Response Sprinklers						
314 <i>Exterior</i> - Standby and Emergency Power						
Public Safety Building Annex					\$975	\$975
317 <i>Boiler Room</i> - Chimney Base Needs to be Cleaned						
327 <i>Lower level service bay</i> - Standby Power						
Senior Center						
382 <i>Sprinklers</i> - Quick Response Sprinklers						

## Capital Improvement and Maintenance Plan

### PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
371 <i>Main Service</i> - Electric Equipment Clear Space Violations						
383 <i>Exterior</i> - Standby power						
Town Hall					\$9,750	\$9,750
476 <i>Building Heating System</i> - Steam Trap Maintenance						
475 <i>Basement</i> - Service Equipment Clear Space Violations						
<b>P16 Maintenance Items Subtotal:</b>					<b>\$86,249</b>	<b>\$86,249</b>

## PLUMBING

### P17 Water Heater Replacement (Municipal Light)

Municipal Light Department	\$5,249			\$5,249		\$5,249
304 <i>Mechanical Room</i> - Water Heater Age						
<b>P17 Water Heater Replacement (Municipal Light) Subtotal:</b>	<b>\$5,249</b>			<b>\$5,249</b>		<b>\$5,249</b>

## RENOVATION (MULTIPLE TYPES)

### P18 Basement Water Corrections (Town Hall)

Town Hall	\$86,250			\$86,250		\$86,250
431 <i>Basement Ceiling</i> - Ceiling Insulation Exposed to Moisture						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
444 <i>Basement Floor</i> - Standing Water on Concrete and Dirt Floor						
460 <i>Boiler Room</i> - Boiler Piping Uninsulated						
481 <i>Basement</i> - Wet Basement Conditions						
459 <i>Boiler Room</i> - Boiler Age						
<b>P18 Basement Water Corrections (Town Hall) Subtotal:</b>	<b>\$86,250</b>			<b>\$86,250</b>		<b>\$86,250</b>
<b>P19 Bathroom Floor Drainage Project (School)</b>						
Davis Hill Elementary School	\$3,450			\$3,450		\$3,450
76 <i>Bathrooms</i> - Bathroom Floor Drains Issues						
<b>P19 Bathroom Floor Drainage Project (School) Subtotal:</b>	<b>\$3,450</b>			<b>\$3,450</b>		<b>\$3,450</b>
<b>P20 Code Triggered Work (Recreation)</b>						
Recreation Building					\$134,940	\$134,940
357 <i>Main floor bathrooms</i> - Piping Insulation Missing						
351 <i>Entire Building</i> - Fire Suppression System						
329 <i>Basement Bathroom</i> - Bathroom Not Accessible						
<b>P20 Code Triggered Work (Recreation) Subtotal:</b>					<b>\$134,940</b>	<b>\$134,940</b>
<b>P21 Elective Improvement (Not Part of Project)</b>						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Chaffins Sub-Station Fire Department					\$9,243,585	\$9,243,585
2 Entire Building - Potential Fire Station Compliance Issues						
Davis Hill Elementary School					\$1,706	\$1,706
106 Office - Panic Switch						
Dawson Elementary School					\$1,697	\$1,697
148 Office - Panic Switch						
Mayo Elementary School					\$510,647	\$510,647
277 Entire Building - No Automatic Temperature Controls						
283 Office - Panic Switch						
Municipal Light Department					\$22,499	\$22,499
300 Mechanical Room - No Domestic Hot Water Recirc						
Recreation Building					\$249,963	\$249,963
347 Mechanical Room - Domestic Hot Water No Recirc						
352 Basement - Generator Replacement Option						
334 Corridors offices and toilet rooms - Ceiling Grid Dirty and Discolored						

**Capital Improvement and Maintenance Plan**

**PROJECT LIST WITH ISSUES**

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
332 <i>Basement</i> - Basement Repurposing Town Hall						
451 <i>Kitchen, Second Floor</i> - Kitchen Cabinets and Countertop Worn						
<b>P21 Elective Improvement (Not Part of Project) Subtotal:</b>					<b>\$10,030,096</b>	<b>\$10,030,096</b>
<b>P22 Elective Interior Renovation (Recreation)</b>						
Recreation Building					\$53,026	\$53,026
344 <i>Basement</i> - Basement Ventilation Issues*1						
358 <i>Various Locations (Former Cells, Basement)</i> - Unused Plumbing Fixture Issues*1						
353 <i>Basement</i> - Generator Standby Power*1						
355 <i>Basement Electrical Room</i> - Light Not Working*1						
341 <i>Basement Floor</i> - Stains on Floor (Basement)*1						
339 <i>Basement</i> - Paint Damage (Interior, Basement) *1						
<b>P22 Elective Interior Renovation (Recreation) Subtotal:</b>					<b>\$53,026</b>	<b>\$53,026</b>
<b>P23 Exterior and Interior Renovation (Various Buildings)</b>						
Dawson Pool Complex		\$171,600		\$171,600		\$171,600
152 <i>Main Building</i> - Trim Board Condition						



Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
151 Life Guard Building (East) - Siding Aged (Life Guard Building)						
150 Bathroom Building - Siding Aged (Bathroom Building)						
153 Entire building - Scuffs on Walls						
154 Second Floor - VCT Tile Damage						
Eagle Lake Bath House		\$9,360		\$9,360		\$9,360
166 Entire Building - Paint (Exterior and Interior)						
Recreation Building		\$25,865		\$25,865		\$25,865
342 Server Room, Second Fl Storage Room - VCT Flooring Damage (Server Room)						
330 Exterior doors - Corner Guards Peeling						
331 Roof - Gutter Damaged						
333 Meeting Room - Carpet Worn (Meeting Room)						
337 Front left second office - Masonry Wall Crack						
336 Various Locations - CMU Wall Holes						
Trout Brook Function Hall		\$36,855		\$36,855		\$36,855
490 Entire Building - VCT Floor Wear						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
489 Exterior, Various Locations - Window Paint Peeling (Large Windows)						
<b>P23 Exterior and Interior Renovation (Various Buildings) Subtotal:</b>		<b>\$243,680</b>		<b>\$243,680</b>		<b>\$243,680</b>
<b>P24 Exterior and Limited Interior Renovation (Various)</b>						
Recreation Building	\$4,140			\$4,140		\$4,140
340 Various Locations - Stained Ceilings (Various Locations)						
Trout Brook Function Hall	\$218,109			\$218,109		\$218,109
486 Various Locations (incl. Mechanical Room) - Minor Roof Leak(s)						
488 Various Locations - Secondary Egress Hardware Not Accessible						
483 Main Entrance to Enclosed Building - Entrance Not Accessible						
485 Rear and Rear Side Walls - Damaged Exterior Walls						
487 Roof of Open Structure - Roof Damage						
484 Front - Ramp at Open Structure Not Accessible						
<b>P24 Exterior and Limited Interior Renovation (Various) Subtotal:</b>	<b>\$222,249</b>			<b>\$222,249</b>		<b>\$222,249</b>

**P25 Exterior and Minor Interior Renovation (Gale Library)**

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Gale Free Library	\$295,422			\$295,422		\$295,422
182 <i>Third Floor Tower Room</i> - Water Damage Over Window						
179 <i>Building Envelope</i> - Broken Stone Panel at North East Corner						
204 <i>Sprinkler Valve Room in Basement</i> - Spare Sprinkler Box						
202 <i>Main Electric Room</i> - Life Safety Code Violation (MDP)						
201 <i>Main Electric Room</i> - Life Safety Code Violation (Junction Boxes)						
198 <i>Entire Building</i> - Fire Alarm						
183 <i>Second Floor Ceiling and Walls</i> - Water Infiltration (Atrium, Newer Addition)						
185 <i>Original Building, 2nd Floor, by Main Entry</i> - Window Cracked						
186 <i>Exterior of Old Wing</i> - Wood Windows Need Paint						
184 <i>Children's Director's Office</i> - Water Infiltration (Children's Dir. Office)						
<b>P25 Exterior and Minor Interior Renovation (Gale Library) Subtotal:</b>	<b>\$295,422</b>			<b>\$295,422</b>		<b>\$295,422</b>

P26 Exterior Renovation (Schools)

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Davis Hill Elementary School	\$111,763			\$111,763		\$111,763
60 Various Locations - Metal Cornice/Cove Joint Failure						
56 Various Locations - Exterior Door Frames Rusting						
52 Outside Kindergarten and Rear Gym Exit - Concrete Stoop and Exterior Door Issue						
51 Sidewalk Near Garden - Garden Curb Cut Missing						
66 Front Entrance - Soffit Panel Joints						
53 Gymnasium at Far End Emergency Exit - Door Opening Issue (Gym Emergency Exit)						
64 Exterior Windows and Doors, Entire Building - Sealant Aging						
Dawson Elementary School	\$55,761			\$55,761		\$55,761
107 Entire Building - Door Accessibility Issues						
116 Outside room #B55 - Door and Sidelight Frame Rusted						
112 Exterior - Sealant Failure at EIFS						
108 Exterior, Various Locations - Brick Staining						
149 Exterior, to the right of the building. - Fence and Gate Damage						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
109 Exterior, Various Locations - Canopy Finish Damage						
110 Rear Side of Left Wing - Masonry Crack						
113 Exterior, Left of the Cafeteria - Spray Foam Insulation Deteriorating						
Mayo Elementary School	\$168,324			\$168,324		\$168,324
285 South end - Missing Curb Cut						
248 West Facade - Window Sashes Damaged						
284 North Side Corridor Exit - Concrete Stoop Sloped Incorrectly						
245 West Facade - Minor Masonry Surface Spalling						
237 West facade - CMU Crack						
242 West Facade - Masonry Efflorescence						
236 South Facade - Caulking Failed						
244 South Facade, Right of Pod Door - Masonry Water Infiltration Stain (Exterior)						
247 East Facade - Sealant Failures						
246 Various Locations - Precast Masonry Damage						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
243 Southwest and Northeast Corner of Gym - Masonry Water Infiltration and Roof Issue						
241 East Facade - Lintels Rusted						
<b>P26 Exterior Renovation (Schools) Subtotal:</b>	<b>\$335,847</b>			<b>\$335,847</b>		<b>\$335,847</b>
<b>P27 Exterior Renovation (Senior Center)</b>						
Senior Center		\$50,384		\$50,384		\$50,384
386 Entry - Paving Settled						
366 South side - Paint Damage (Exterior)						
362 South Side - Base Trim Damaged						
363 Entire Building - Dirty Siding						
<b>P27 Exterior Renovation (Senior Center) Subtotal:</b>		<b>\$50,384</b>		<b>\$50,384</b>		<b>\$50,384</b>
<b>P28 Interior and Exterior Renovation (Chaffins)</b>						
Chaffins Sub-Station Fire Department	\$2,574,342			\$2,574,342		\$2,574,342
19 Toilet Room - Toilet Room Fan						
9 Men's Room - Clean-out Plug						
7 Entire Building - Ceiling Worn						
5 Exterior Walls - No Insulation at Walls						
16 Entire Building - No Exit Signs						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
17 Entire Building - No Sprinklers						
14 Entire Building - Insufficient Toilet Facilities						
8 Dayroom - Insufficient Lockers (Optional)						
4 Exterior, South - Masonry Crack						
3 Exterior - Break Metal Fascia Screws Rusted						
6 Rear Left of Apparatus Bay - Partial Roof Collapse						
10 Bottom of Stairwell - Electric Service Equipment						
15 Entire Building - Interior Lighting						
12 Exterior - Exterior Lighting						
11 Entire Building - Emergency Egress Lighting						
13 Entire Building - Fire Alarm						
18 Exterior - Standby Power						
<b>P28 Interior and Exterior Renovation (Chaffins) Subtotal:</b>	<b>\$2,574,342</b>			<b>\$2,574,342</b>		<b>\$2,574,342</b>
<b>P29 Interior and Exterior Renovation (Gale Library)</b>						
Gale Free Library		\$2,004,772		\$2,004,772		\$2,004,772
178 Third Floor - Men's and Women's Rooms Not Accessible						
188 Basement - Door Knobs Not Accessible						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
193 <i>Roof - Air Cooled Condensing Unit Age</i>						
199 <i>Sprinkler Valve Room in Basement - Hydraulic Information Sign Missing</i>						
206 <i>Water Heater in Basement - Water Heater Age (Basement)</i>						
205 <i>POU Water Heater in 2nd Floor - Water Heater Age (2nd Floor)</i>						
203 <i>Roof - Roof Top HVAC Units Age</i>						
200 <i>Entire Building - Interior Lighting</i>						
197 <i>Entire Building - Emergency Egress Lighting</i>						
194 <i>Entire Building - Clock System</i>						
189 <i>Over door to children's room - Glass in Transom Cracked</i>						
190 <i>Interior, Multiple Locations - Multiple Plaster Cracks</i>						
177 <i>Both Stairs - Handrails Not Code Compliant</i>						
181 <i>Exterior of Old Wing - Minor Mortar Damage</i>						
180 <i>Newer Addition - Metal Roof Panel Damage</i>						
<b>P29 Interior and Exterior Renovation (Gale Library) Subtotal:</b>		<b>\$2,004,772</b>		<b>\$2,004,772</b>		<b>\$2,004,772</b>

P30 Interior and Exterior Renovation (Starbard)



Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Starbard Building	\$915,596			\$915,596		\$915,596
390 First and Second Floors - No Braille Signage						
389 First and Second Floors - No Accessible Toilet Rooms						
387 First and Second Floors - Door Hardware Not Accessible						
396 Entire Building - Carpet in Poor Condition						
388 Stairs - Handrails Not Compliant						
391 Exterior HC Ramp - Ramp Not Compliant						
394 Assessor's Office - Chimney Leak						
395 Entire Building - Wood Windows Fair to Poor Condition						
392 Building - Aluminum Storm Windows Fair Condition						
398 Men's and Women's Rooms - Toilet Room Finishes in Poor Condition						
393 Basement - Basement Moisture Issue						
403 Boiler Room - Communication Wiring over Vent Connector						
416 Boiler Room - Oil Tanks						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
418 Boiler Room - Tub Sink Sump Pump						
420 Boiler Room - Water Heater						
404 Boiler Room - Domestic Water Supply						
421 Basement - Water Piping						
415 Bathrooms - Lavatory Piping Not Insulated						
410 Women's Room - Exhaust Fan (Women's Room)						
419 Men's Room - Water Damage at Lavatory						
408 3rd floor bathroom - Exhaust Fan						
401 Basement - Clearspace Violations						
402 Entire Building - Cloth Wire Insulation						
413 Entire Building - Interior Lighting						
412 Entire Building - Fire Alarm						
405 Basement - Electric Service Equipment						
417 Basement - Service Equipment Clear Space Violations						
407 Entire Building - Emergency Egress Lighting						
<b>P30 Interior and Exterior Renovation (Starbard) Subtotal:</b>	<b>\$915,596</b>			<b>\$915,596</b>		<b>\$915,596</b>

P31 Interior and Exterior Renovation (Town Hall)

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Town Hall		\$1,483,344		\$1,483,344		\$1,483,344
433 Entire - Exterior Siding and Trim Paint Damage						
434 Entire - Exterior Siding and Trim Wood Damage						
443 Entire Building - Roofing Deterioration						
482 Entire - Roof Framing Damage						
437 West Side, Exterior - Fire Escape Issues						
438 Front Entrance Doors - Front Entrance Not Accessible						
436 Top of Fire Escape - Fire Escape Doors (Stair to Balcony)						
446 Basement - Basement Stairs Not Compliant						
479 Basement - Unused Oil Tanks in Basement						
464 Men's Room - Exhaust Fan Volume						
474 Bathrooms - Plumbing Fixtures Dated and Damaged						
480 Boiler Room - Water Heater Age						
470 Second Floor Kitchen - Kitchen Faucet Hot Water Delay						
472 Basement - Open Storm Drain						

**Capital Improvement and Maintenance Plan**

**PROJECT LIST WITH ISSUES**

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
467 <i>Basement</i> - Hot & Cold Water Piping Not Insulated						
478 <i>Basement</i> - Unused Indirect Waste Pipe						
461 <i>Basement</i> - Electric Service Equipment						
465 <i>Exterior</i> - Exterior Lighting						
463 <i>Entire Building</i> - Emergency Egress Lighting						
466 <i>Entire Building</i> - Fire Alarm						
453 <i>Entire Building</i> - Paint Deterioration (Interior)						
455 <i>Front Entrance Vestibule/Stair</i> - Wall Damage at FA Device						
447 <i>Entire Building</i> - Carpet Worn						
445 <i>Front of Building</i> - Window Draft						
429 <i>First Floor Men's and Women's Toilet Rooms</i> - Toilet Rooms Not Accessible						
423 <i>First Floor Corridor</i> - Corridor Too Narrow (Accessibility)						
457 <i>Various Locations (Qty: 2)</i> - Wall/Ceiling Holes at Various Locations						
468 <i>Various Locations</i> - Insulation Detaching						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
448 At the back of the First Floor Corridor - First Floor Corridor Door Issues						
428 Front and Back of Building - Stairs Not Accessible						
471 Second to Last, Rear Right Office (1st Fl) - Light Fixture Missing Cover						
458 Various Locations - Window Treatment Damage						
430 Elevator - Elevator Wall Damage						
456 Second Floor Elevator Lobby - Wall Damage at Second Fl. Elevator Lobby						
477 Second Floor Rear Right Office - Time Clock Noise						
449 Second Floor in Room to Left of Stage - Floor Dips						
427 Second Floor Meeting Room Stage - Stage Not Accessible						
454 Second Floor Meeting Room - Plaster Ceiling Damage						
426 East, Rear Entrance - Railings Not Compliant (Rear Steps)						
452 Kitchen, Second Floor - Kitchen Ceiling Peeling						
432 Front Columns - Column Base Settlement						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
439 <i>Front Exterior Stairs</i> - Front Stair Issues (Exterior)						
442 <i>Exterior</i> - Paint Deterioration (Exterior)						
441 <i>North Side Elevation (rear)</i> - Louver Damaged						
435 <i>West Side Fire escape</i> - Fire Escape Doors (Meeting Room)						
425 <i>East Side</i> - Railings Not Compliant (Ramp)						
469 <i>Entire Building</i> - Interior Lighting						
473 <i>Entire Building</i> - Paint Damage (Interior, Radiators)						
<b>P31 Interior and Exterior Renovation (Town Hall) Subtotal:</b>		<b>\$1,483,344</b>		<b>\$1,483,344</b>		<b>\$1,483,344</b>
<b>P32 Limited Interior &amp; Exterior Reno (Public Safety)</b>						
Public Safety Building	\$17,293			\$17,293		\$17,293
305 <i>Booking Area (Police Station)</i> - Stains on Secure Metal Ceiling						
306 <i>Mechanical Room</i> - AHU-1 Chilled Water Piping Leak						
308 <i>Mechanical Room</i> - Domestic Hot Water						
307 <i>Mechanical Room</i> - AHU-1 Return Air Smoke Detector Question						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
Public Safety Building Annex	\$184,618			\$184,618		\$184,618
315 Hallway Near Front Entry (1st Floor) - Suspected Roof Leak						
328 Storage Rm - Water Heater Age						
316 Men's Room - Broken Toilet Seat						
321 Men's room - Faulty Flush Valve						
318 Entire Building - Electrical Distribution						
323 Entire Building - Interior Lighting						
319 Entire Building - Emergency Lighting						
<b>P32 Limited Interior &amp; Exterior Reno (Public Safety) Subtotal:</b>	<b>\$201,911</b>			<b>\$201,911</b>		<b>\$201,911</b>
<b>P33 Masonry and Sealant Repairs (Municipal Light)</b>						
Municipal Light Department	\$9,494			\$9,494		\$9,494
286 Brick Exterior - Brick and Mortar Damage						
287 Brick Exterior - Sealant Cracked						
<b>P33 Masonry and Sealant Repairs (Municipal Light) Subtotal:</b>	<b>\$9,494</b>			<b>\$9,494</b>		<b>\$9,494</b>
<b>P34 Roof Repair and Limited Interior Repairs (Mun. Light)</b>						
Municipal Light Department	\$2,251			\$2,251		\$2,251
288 Lunch Room - Acoustical Tile Ceiling Stains						

Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
289 Mechanical Room - Boiler Flue Water Infiltration Issue						
<b>P34 Roof Repair and Limited Interior Repairs (Mun. Light) Subtotal:</b>	<b>\$2,251</b>			<b>\$2,251</b>		<b>\$2,251</b>
<b>P35 Roof Repair and Limited Interior Repairs (Senior)</b>						
Senior Center	\$26,206			\$26,206		\$26,206
365 Roof left of entrance - Missing Ridge Vent Part						
361 Roof, left of entry - Asphalt Shingles Loose						
367 Low roof to right of entry - Roof Organic Growth						
364 Roof left of entry - Ice Dam Evidence						
368 Office in back - Water Damage (Interior, Back Right)						
369 Vestibule, adjacent Tlt Rm, & MPR - Water Damage (Interior, Front)						
<b>P35 Roof Repair and Limited Interior Repairs (Senior) Subtotal:</b>	<b>\$26,206</b>			<b>\$26,206</b>		<b>\$26,206</b>

**ROOFING**

**P36 Roofing, Gutters, and Downspouts (Schools)**

Davis Hill Elementary School	\$1,347,577		\$1,347,577	\$1,347,577
62 Various Locations - Roof Edge Resulting in Water Damage				



Capital Improvement and Maintenance Plan

PROJECT LIST WITH ISSUES

Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total (Subtotal and Code Triggered Cost)
	Years 1 to 3	Years 4 to 7	Years 8 to 10	Subtotal		
59 Entire Building - Gutters and Downspouts Seam Issues						
65 Entire Building - Snow Guards						
63 Entire - Roof Shingles						
93 Roof Drainage / Gutters - Gutters Clogged						
61 Roof Drainage / Gutters - Potential Ice Falling Damage						
54 Entire Building - Downspout Drains Clogged						
58 At Various Entries - Gutter Ends Sloped Incorrectly						
Dawson Elementary School		\$4,036,500		\$4,036,500		\$4,036,500
111 Entire Roof - Roof Age Concern						
Mayo Elementary School		\$119,923		\$119,923		\$119,923
275 Supply 239 A - Kiln - Leak at Kiln Vent Roof Penetration						
240 North Facade - Gutter Rivets Rusted						
235 West Facade - Buckled Downspout and Clogged Drains						
239 East Facade - Gutter Joints Leaking						
<b>P36 Roofing, Gutters, and Downspouts (Schools) Subtotal:</b>		<b>\$5,504,000</b>		<b>\$5,504,000</b>		<b>\$5,504,000</b>

Capital Improvement and Maintenance Plan						
PROJECT LIST WITH ISSUES						
Project Type, Project Name, Buildings, and Issues	Total Project Cost				Cost if Work is Done	Total <i>(Subtotal and Code Triggered Cost)</i>
	Years 1 to 3	Years 4 to 7	Years 8 to 10	<i>Subtotal</i>		
<b>STRUCTURAL</b>						
<b>P37 Structural Repairs (Starbard)</b>						
Starbard Building	\$4,744			\$4,744		\$4,744
397 Third Floor - Ceilings Cracked						
422 Roof and Floor Framing - Structural Issues (Additional Investigation Needed)						
<b>P37 Structural Repairs (Starbard) Subtotal:</b>	<b>\$4,744</b>			<b>\$4,744</b>		<b>\$4,744</b>
<b>TOTAL:</b>	<b>\$8,186,340</b>	<b>\$13,390,400</b>	<b>\$2,589,428</b>	<b>\$24,166,168</b>	<b>\$10,323,811</b>	<b>\$34,489,979</b>



