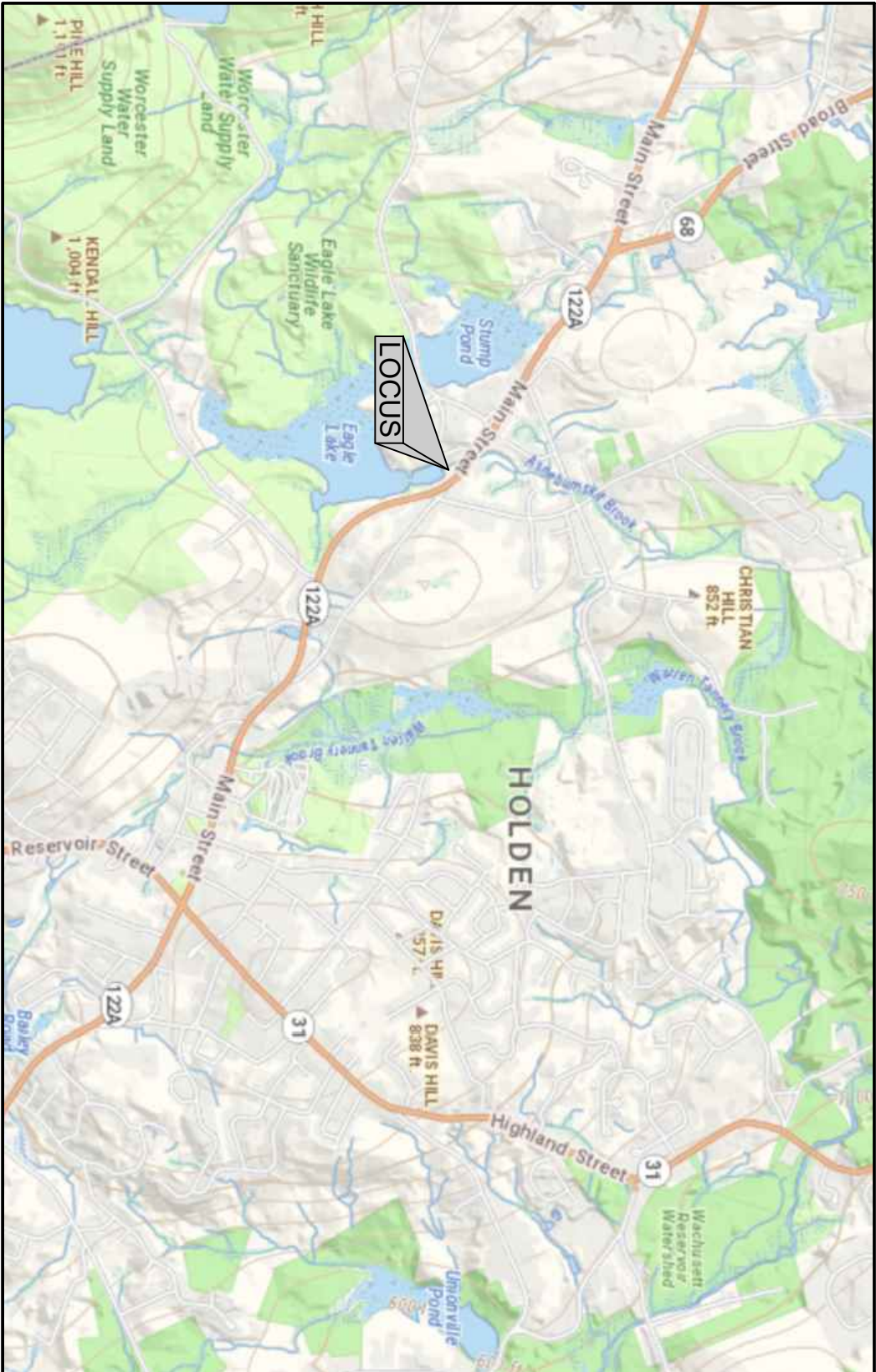


PROJECT:
JEFFERSON MILL REDEVELOPMENT
1665 MAIN STREET, HOLDEN, MA

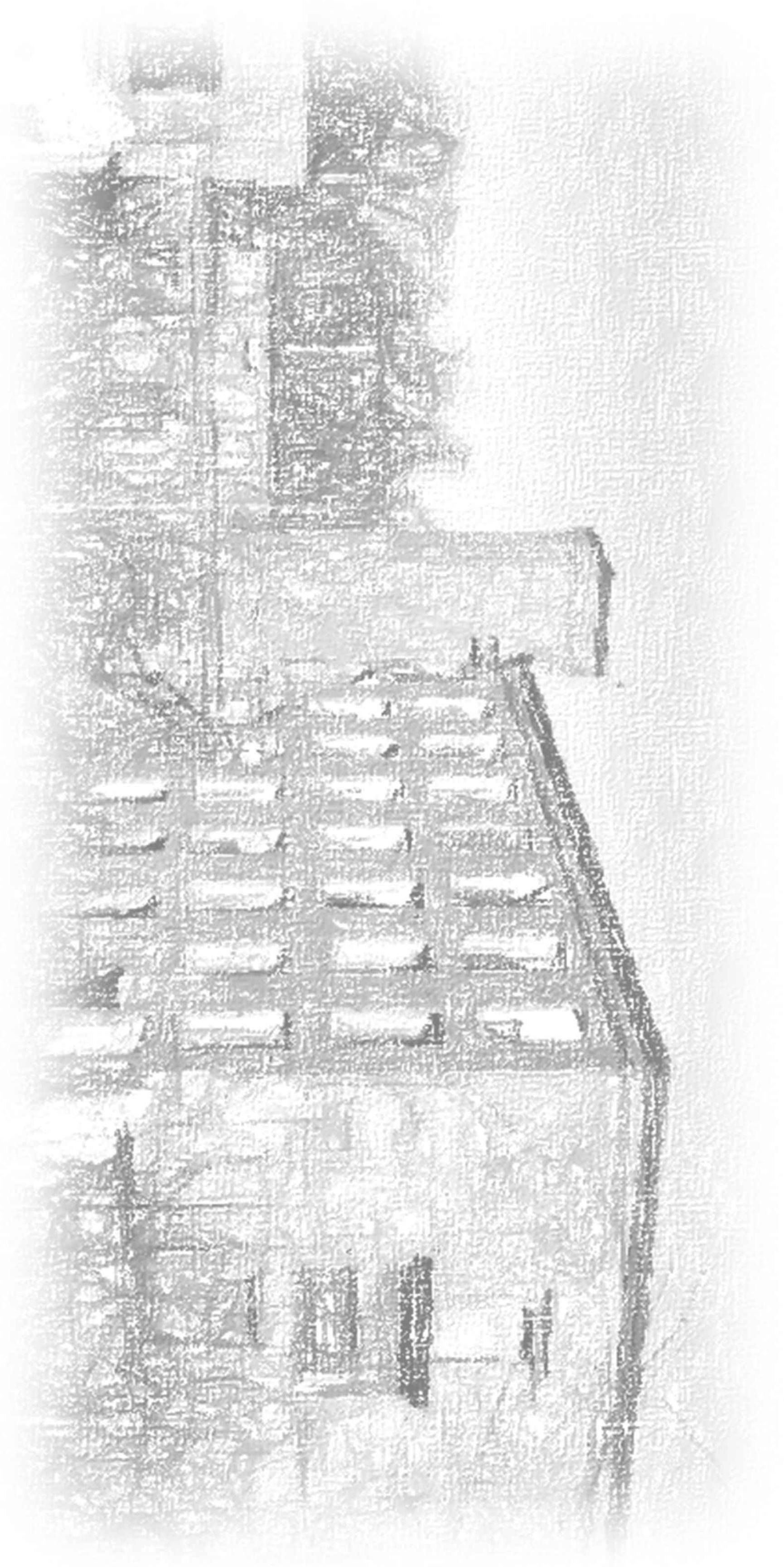
APPLICANT:
NORTH VILLAGE LOFTS, LLC
NEWTON, MA



LOCUS PLAN
SCALE: 1"=2,000'

DRAWING LIST:

SHEET #	TITLE
C001	EXISTING CONDITIONS PLAN (BY ANDRYSICK LAND SURVEYING)
C100	SITE PREPARATION PLAN
C101	OVERALL SITE PLAN
C102	LAYOUT AND MATERIALS PLAN
C103	GRADING AND DRAINAGE PLAN
C104	UTILITY PLAN
C201	PROFILES
C202	DETAILS 1
C203	DETAILS 2
	LINE OF SIGHT



APPLICANT
NORTH VILLAGE LOFTS, LLC
35 NORWOOD AVE
NEWTON, MA 02459

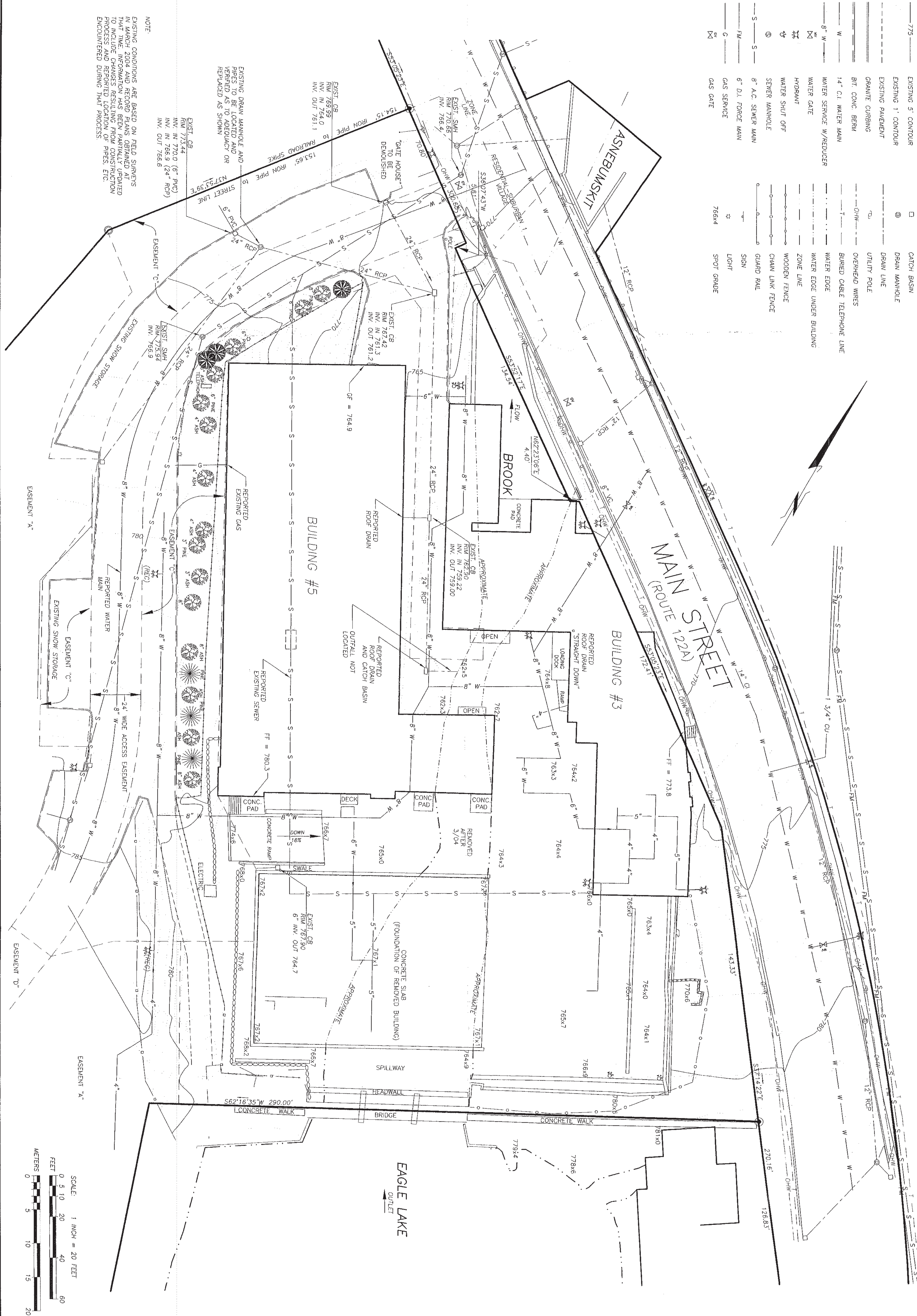
CIVIL ENGINEER
PVI SITE DESIGN, LLC
18 GLENDALE ROAD
NORWOOD, MA 02062

LAND SURVEYOR
ANDRYSICK LAND SURVEYING
206 WORCESTER ROAD
PRINCETON, MA 01541

ISSUED FOR PERMIT
JANUARY 29, 2021
REVISED: MARCH 29, 2021

LEGEND

- 775 EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- EXISTING PAVEMENT
- GRAVITE CURBING
- BIT. CONC. BERM
- 14" C.I. WATER MAIN
- WATER SERVICE W/REDUCER
- WATER GATE
- HYDRANT
- WATER SHUT OFF
- SEWER MANHOLE
- 8" A.C. SEWER MAIN
- 6" D.I. FORCE MAIN
- GAS SERVICE
- GAS GATE
- CATCH BASIN
- DRAIN MANHOLE
- DRAIN LINE
- UTILITY POLE
- OVERHEAD WIRES
- BURIED CABLE TELEPHONE LINE
- WATER EDGE
- WATER EDGE UNDER BUILDING
- ZONE LINE
- WOODEN FENCE
- CHAIN LINK FENCE
- GUANO RAIL
- SIGN
- LIGHT
- SPOT GRADE



REVISIONS	
5	9/5/12 UPDATE APPLICANT INFO
4	2/21/06 DCR COMMENTS
3	12/06/05 REVISE UPPER PARKING
2	11/17/05 DCR COMMENTS
1	8/16/05 TOWN COMMENTS
No	DATE DESCRIPTION



206 WORCESTER RD.
P.O. BOX 97
PRINCETON, MA 01541
PH. (978) 464-5890
FAX (978) 464-5383

PREPARED FOR:
MILL POND REALTY TRUST
74 CLARENDON ST, SUITE A
BOSTON, MA 02116

EXISTING CONDITIONS PLAN



SCALE: 1"=20'

"JEFFERSON MILL"
SITE PLAN
1665 MAIN STREET
HOLDEN, MASSACHUSETTS

JUNE 28, 2005

EXISTING CONDITIONS
8248 - 1/7

SITE PREPARATION NOTES

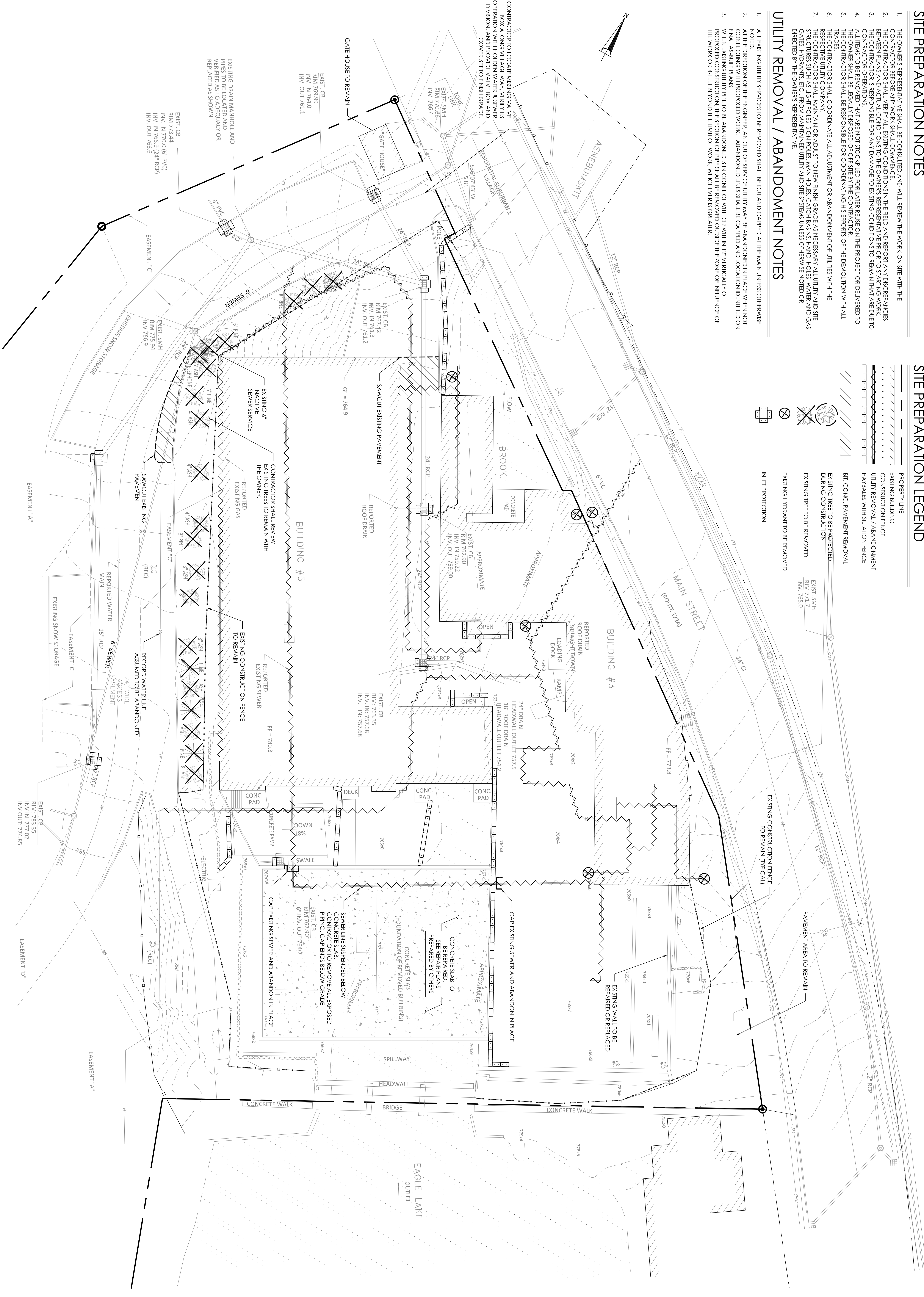
1. THE OWNER'S REPRESENTATIVE SHALL BE CONSULTED AND WILL REVIEW THE WORK ON SITE WITH THE CONTRACTOR BEFORE ANY WORK SHALL COMMENCE.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO CONTRACTOR OPERATIONS.
3. ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE DESTROYED OR BY THE CONTRACTOR'S RESPONSIBILITY FOR THE DEMOLITION WITH ALL TRADES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS EFFORTS OF THE DEMOLITION WITH ALL RESPECTIVE UTILITY COMPANIES.
5. THE CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MAIN HOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.

UTILITY REMOVAL / ABANDONMENT NOTES

1. ALL EXISTING UTILITY SERVICES TO BE REMOVED SHALL BE CUT AND CAPPED AT THE MAIN UNLESS OTHERWISE NOTED.
2. AT THE DIRECTION OF THE ENGINEER, AN OUT OF SERVICE UTILITY MAY BE ABANDONED IN PLACE WHEN NOT CONFLICTING WITH PROPOSED WORK. ABANDONED LINES SHALL BE CAPPED AND LOCATION IDENTIFIED ON FINAL AS-BUILT PLANS.
3. WHEN EXISTING UTILITY PIPE TO BE ABANDONED IS IN CONFLICT WITH OR WITHIN 12" VERTICALLY OF PROPOSED CONSTRUCTION, THE SECTION OF PIPE SHALL BE REMOVED OUTSIDE THE ZONE-OF-INFLUENCE OF THE WORK OR 4 FEET BEYOND THE LIMIT OF WORK, WHICHEVER IS GREATER.

SITE PREPARATION LEGEND

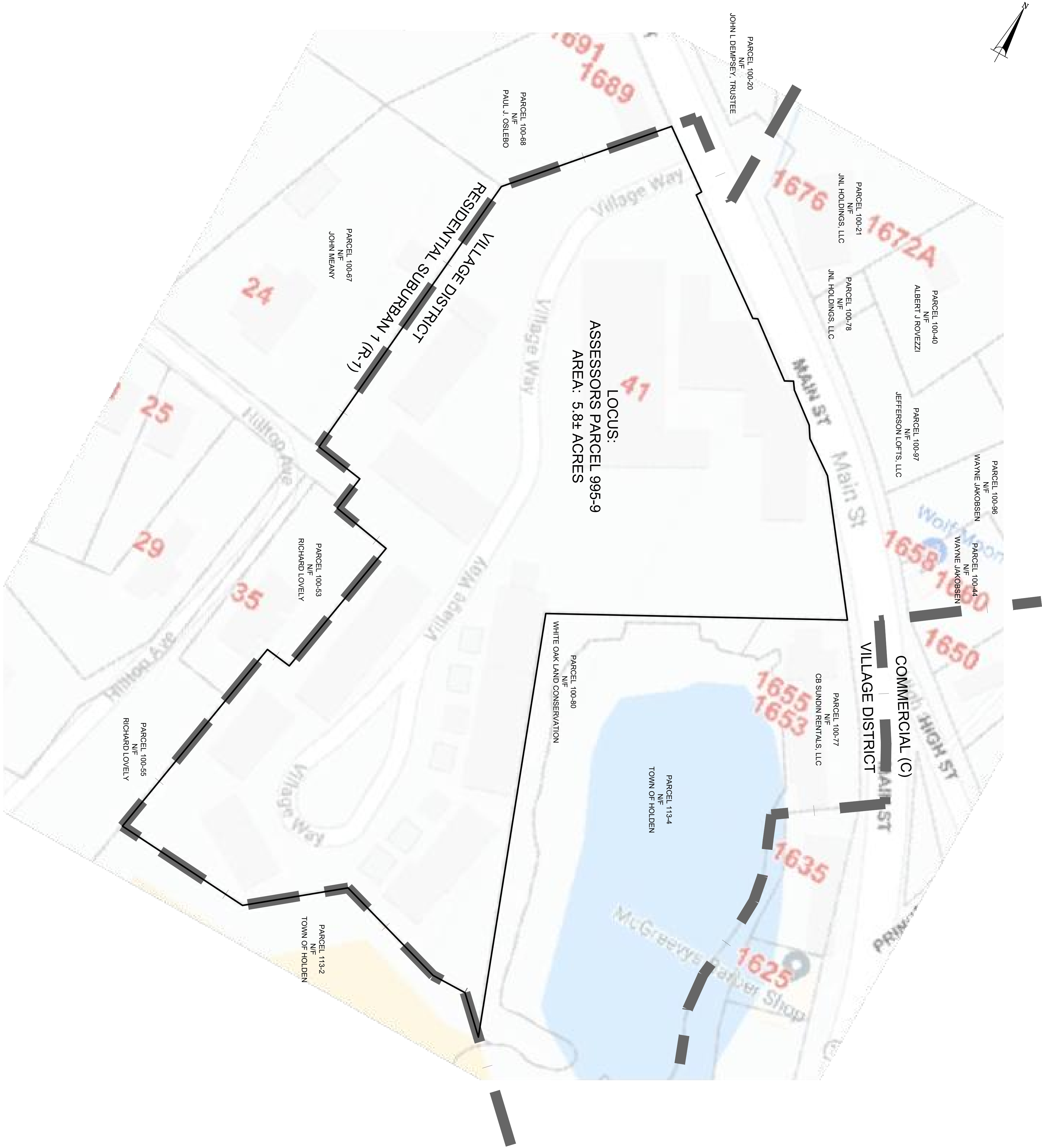
- PROPERTY LINE
- EXISTING BUILDING
- CONSTRUCTION FENCE
- UTILITY REMOVAL / ABANDONMENT
- HAYBALES WITH SITUATION FENCE
- BIT, CONC. PAVEMENT REMOVAL
- EXISTING TREE TO BE PROTECTED DURING CONSTRUCTION
- EXISTING TREE TO BE REMOVED
- EXISTING HYDRANT TO BE REMOVED
- INLET PROTECTION



ISSUED FOR SITE PLAN REVIEW JANUARY 29, 2021		SCALE: AS NOTED	
SITE PREPARATION PLAN		JOB NO.: 21-001	
		FILE: 21-001 SITE PREP.dwg	
		DRAWN: TJP	
		CHECKED: TJP	
		SHEET NO.: C001	
SEAL: [Professional Engineer Seal]		REV.: 1: 03-29-2021 DPW AND P.B. COMMENTS	
PROJECT: JEFFERSON MILL REDVELOPMENT 1665 MAIN STREET, HOLDEN, MA		CLIENT / APPLICANT: NORTH VILLAGE LOFTS, LLC 35 NORWOOD AVE NEWTON, MA 02459	
CONSULTANT: PVI SITE DESIGN PVI Site Design, LLC Civil Engineering - Land Entitlements Master Planning - Project Management 339-206-1030			

NOTES

- OVERALL LOT BOUNDARIES ARE BASED ON GIS INFORMATION OBTAINED BY THE MAPS ONLINE WEBSITE FOR THE TOWN OF HOLDEN AND SHOULD BE CONSIDERED APPROXIMATE.
- ADJUTER INFORMATION OBTAINED FROM TOWN OF HOLDEN GIS SYSTEM.



<p>ISSUED FOR SITE PLAN REVIEW JANUARY 29, 2021</p> <p>OVERALL PROPERTY PLAN</p>		<p>SEAL:</p>	<p>REV.:</p> <table><tr><td>1: 03-29-2021</td><td>DPW AND P.B. COMMENTS</td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr></table>	1: 03-29-2021	DPW AND P.B. COMMENTS													<p>PROJECT:</p> <p>JEFFERSON MILL REDVELOPMENT 1665 MAIN STREET, HOLDEN, MA</p> <p>CLIENT / APPLICANT:</p> <p>NORTH VILLAGE LOFTS, LLC 35 NORWOOD AVE NEWTON, MA 02459</p>	<p>CONSULTANT:</p> <p>PVI SITE DESIGN PVI Site Design, LLC Civil Engineering - Land Entitlements Master Planning - Project Management 339-206-1030</p>
1: 03-29-2021	DPW AND P.B. COMMENTS																		

LAYOUT AND MATERIALS LEGEND

- PROPERTY LINE
- APPROX. RIVER EDGE
- PROPERTY SETBACK
- RIVER OPEN TO ABOVE
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED RETAINING WALL
- WOOD GUARDRAIL
- FENCE
- HAYBALES WITH SILTATION FENCE
- SPECIALTY PAVEMENT
- CEMENT CONCRETE PAVEMENT
- VERTICAL GRANITE CURB
- BCC
- BITUMINOUS CONCRETE CURB
- ICC
- INTEGRAL CONCRETE CURB
- FLUSH CURB
- FC
- BENCH
- SITE LIGHTING
- WALKWAY/BOLLARD LIGHTING
- BIKE RACK

GENERAL NOTES

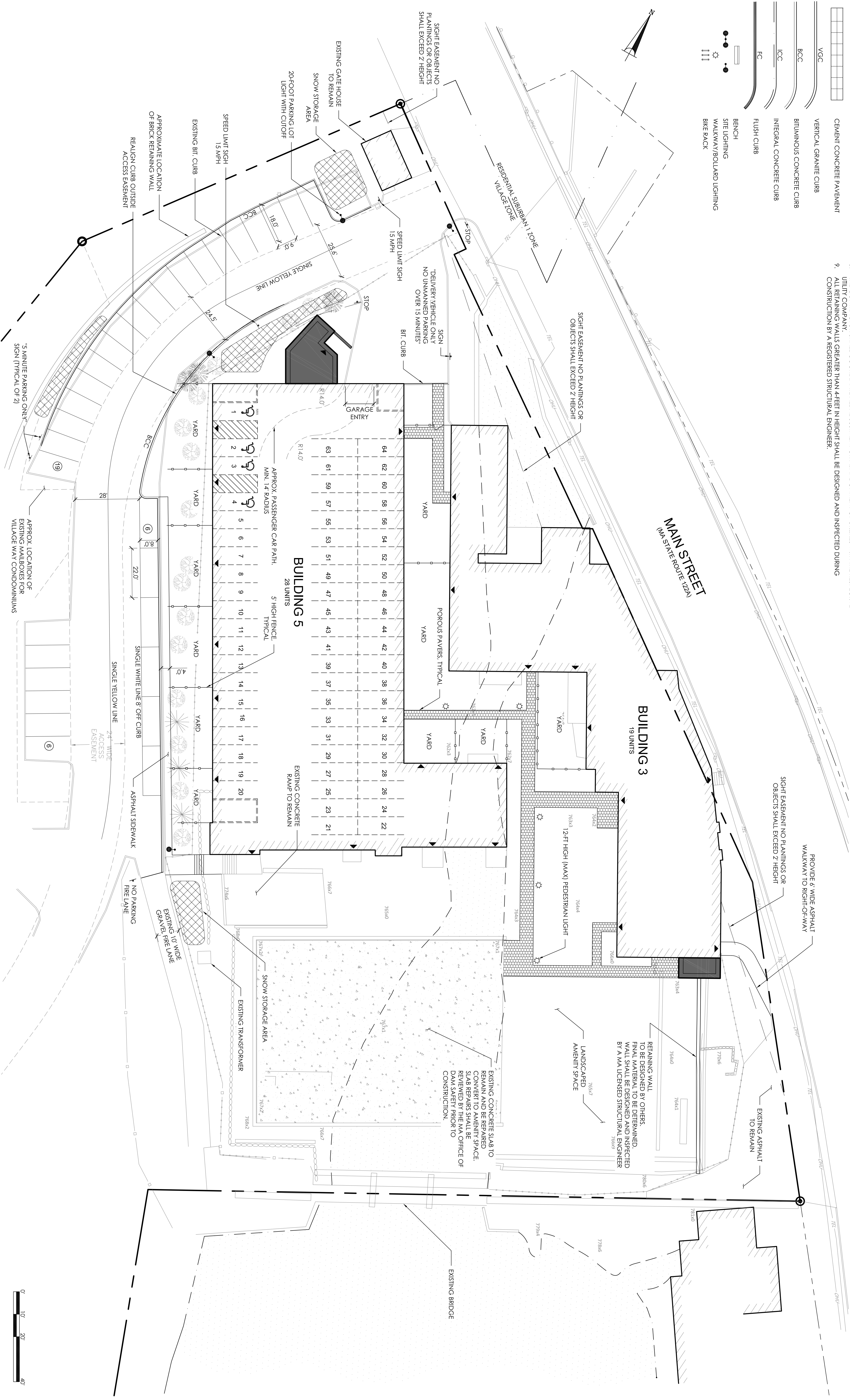
- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY ANDRISTICK LAND SURVEYING LAST REVISED 9/5/2012.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS IE UNDER OR ARE IMPPINGED BY PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING THE SAME.
- THE LOCATION OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. PRIOR TO THE START OF ANY EXCAVATION, THE CONTRACTOR SHALL NOTIFY DISAGE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO THE CONTRACTOR'S OPERATIONS.
- ALL ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
- ALL RETAINING WALLS GREATER THAN 4FEET IN HEIGHT SHALL BE DESIGNED AND INSPECTED DURING CONSTRUCTION BY A REGISTERED STRUCTURAL ENGINEER.

LAYOUT AND MATERIALS NOTES

- ALL WORK CONDUCTED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
- ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES. THE CONTRACTOR IS AWARE STRONGEN GUIDELINES. IF FIELD CONDITIONS MAKE IT IMPOSSIBLE TO COMPLY WITH THESE GUIDELINES, AND REGULATIONS, A WAIVER FROM THE MAAB WILL BE SOUGHT.
- THE FOLLOWING CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
 - ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB AT CURB LINE.
 - ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.
 - ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

PARKING TABLE

REQUIRED PARKING:	
TOTAL PROPOSED UNITS:	47
ZONING REQUIRED PARKING RATIO:	1.5 SPACES PER UNIT
47 x 1.5 = 70.5	
TOTAL REQUIRED PARKING:	71
PARKING PROVIDED:	
VILLAGE WAY:	31
INTERIOR DIRECT:	42
INTERIOR LANDSCAPE:	22
TOTAL SPACES:	95
ACCESSIBLE SPACES:	4 (INTERNAL)



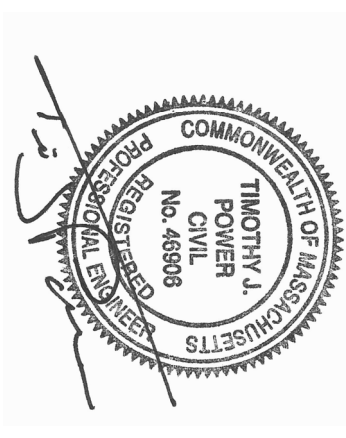
C101

ISSUED FOR SITE PLAN REVIEW
JANUARY 29, 2021

LAYOUT AND
MATERIALS PLAN

SCALE:	AS NOTED
JOB NO.:	21-001
FILE:	21-001_LM.dwg
DRAWN:	TJP
CHECKED:	TJP
SHEET NO.:	

SEAL:



REV.:

1: 03-29-2021	DPW AND P.B. COMMENTS

PROJECT:

JEFFERSON MILL REDVELOPMENT
1665 MAIN STREET, HOLDEN, MA

CLIENT / APPLICANT:

NORTH VILLAGE LOFTS, LLC
35 NORWOOD AVE
NEWTON, MA 02459

CONSULTANT:



GRADING AND UTILITY LEGEND

---	PROPERTY LINE
---	PROPERTY SETBACK
---	EXISTING BUILDING
W --- W	EXISTING WATER SERVICE
S --- S	EXISTING SEWER SERVICE
---	EXISTING CONTOUR LINE
97 -	PROPOSED BUILDING
100 -	PROPOSED RETAINING WALL
102 -	PROPOSED CONTOUR MAJOR LINE
WP -	PROPOSED CONTOUR MINOR LINE
---	PROPOSED DOMESTIC WATER
S -	PROPOSED FIRE PROTECTION
---	PROPOSED SEWER
---	PROPOSED DRAIN LINE
---	PROPOSED ELECTRIC DISTRIBUTION
---	PROPOSED GAS
---	PROPOSED UNDERGROUND CHAMBERS
---	PROPOSED DETENTION SYSTEM LIMITS
●	PROPOSED LIGHT POLE
●	PROPOSED DRAIN MANHOLE
●	PROPOSED CATCH BASIN
●	PROPOSED FLARED END SECTION
●	PROPOSED SEWER MANHOLE
●	PROPOSED CLEAN OUT
●	PROPOSED HYDRANT
●	PROPOSED VALVE
●	PROPOSED TRANSFORMER
●	PROPOSED SPOT GRADE
●	PROPOSED BUILDING ENTRY POINT

GRADING NOTES

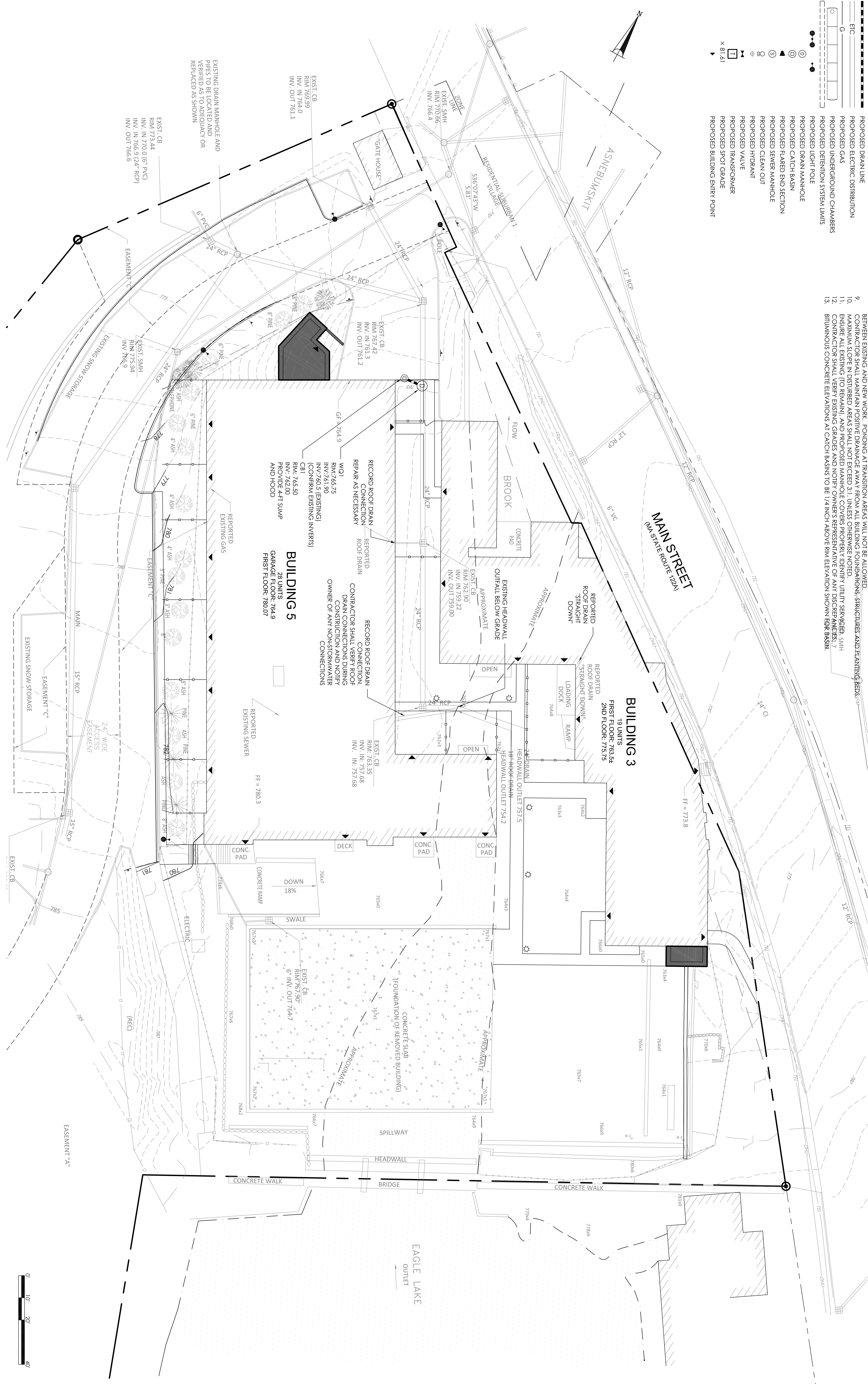
- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SITE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES, AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, CABLE, AND OTHER UTILITIES TO BE MAINTAINED OR ADJUSTED TO NEW FINISH GRADE, AS NECESSARY. ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED AREAS OUTSIDE THE LIMITS OF PROPOSED WORK, DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION, AT THE CONTRACTOR'S EXPENSE.
- PROTECT AND MAINTAIN EXISTING ON-SITE DRAINAGE STRUCTURES AND PIPES UNLESS OTHERWISE NOTED.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
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- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.

WATER QUALITY STRUCTURE NOTES

- WATER QUALITY UNITS SHALL BE CDS201.5-4 OR LARGER, AS MANUFACTURED BY CONTECH. SEE DETAILS.
- PROVIDE COVERS AS NOTED ON THE DRAWINGS.
- WATER QUALITY UNITS SHALL BE SIZED TO TREAT 1" OF RAINFALL OVER PAVED SURFACES. FLOW RATES TO BE TREATED ARE AS FOLLOWS:
WQ-1: TREATMENT FLOW = 0.5 CFS
BYPASS FLOW = 17.85 CFS
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR STRUCTURE WITH FLOW CAPACITY AND TREATMENT CAPACITY. STRUCTURES SHALL BE CAPABLE OF REMOVING 80% TSS FOR THE REQUIRED WATER QUALITY VOLUME NOTED ABOVE.

ILICIT DISCHARGE STATEMENT

- THE STORM WATER MANAGEMENT SYSTEM PROPOSED SHALL NOT BE CONNECTED TO THE WASTEWATER MANAGEMENT SYSTEM AND SHALL NOT BE CONTAMINATED BY CONTACT WITH PROCESS WASTES, RAW MATERIALS, TOXIC POLLUTANTS, HAZARDOUS SUBSTANCES, OIL, OR GREASE PER MASSACHUSETTS DEP STORM WATER STANDARD 10.
- IF ANY ILICIT DISCHARGES ARE DISCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, AND DISCONNECT THE ILICIT CONNECTION FROM THE STORMWATER SYSTEM.



ISSUED FOR SITE PLAN REVIEW
JANUARY 29, 2021

GRADING &
DRAINAGE PLAN

SCALE: AS NOTED

JOB NO.: 21-001

FILE: 21-001-GRADING.dwg

DRAWN: TJP

CHECKED: TJP

SHEET NO.: C102

SEAL: [Professional Engineer Seal]

REV.: 1: 03-29-2021 DPW AND P.B. COMMENTS

PROJECT: JEFFERSON MILL REDVELOPMENT
1665 MAIN STREET, HOLDEN, MA

CLIENT / APPLICANT: NORTH VILLAGE LOFTS, LLC
35 NORWOOD AVE
NEWTON, MA 02459

CONSULTANT: PVI SITE DESIGN
PVI Site Design, LLC
Civil Engineering - Land Entitlements
Master Planning - Project Management
339-206-1030

GRADING AND UTILITY LEGEND

---	PROPERTY LINE
---	PROPERTY SETBACK
---	EXISTING BUILDING
---	EXISTING WATER SERVICE
---	EXISTING SEWER SERVICE
---	EXISTING CONTOUR LINE
---	PROPOSED BUILDING
---	PROPOSED REMAINING WALL
---	PROPOSED CONTOUR MAJOR LINE
---	PROPOSED CONTOUR MINOR LINE
---	PROPOSED DOMESTIC WATER
---	PROPOSED FIRE PROTECTION
---	PROPOSED SEWER
---	PROPOSED DRAIN LINE
---	PROPOSED ELECTRIC DISTRIBUTION
---	PROPOSED GAS
---	PROPOSED UNDERGROUND CHAMBERS
---	PROPOSED DEFINITION SYSTEM LIMITS
---	PROPOSED LIGHT POLE
---	PROPOSED DRAIN MANHOLE
---	PROPOSED CATCH BASIN
---	PROPOSED FLARED END SECTION
---	PROPOSED SEWER MANHOLE
---	PROPOSED CLEAN OUT
---	PROPOSED HYDRANT
---	PROPOSED VALVE
---	PROPOSED TRANSFORMER
---	PROPOSED SPOT GRADE
---	PROPOSED BUILDING ENTRY POINT

UTILITY NOTES

- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES.
- WHETHER SPECIFICALLY NOTED ON PLANS OR NOT, WITH THE PROPOSED WORK, THE LOCATION OF ALL EXISTING UTILITIES SHALL BE EXACTLY REPRODUCED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES.
- THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE AND RESET ALL WATER AND DRAINAGE FRAMES, GATES, AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES. THE CONTRACTOR SHALL MAINTAIN, OR ADJUST TO NEW FINISH GRADE, AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, AND OTHER STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES.
- ALL SEWER PIPES SHALL BE PVC PER ASTM D3034, SDR-35 AND ASTM D1794 WITH RUBBER GASKET JOINTS.
- SITE LIGHTING IS SHOWN FOR COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL PLANS FOR EXACT TYPE AND LOCATION.
- REFER TO ELECTRICAL PLANS FOR SECTIONS AND DETAILS OF THE UTILITY DUCT BANK.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THE CONTRACTOR TO THEIR ORIGINAL CONDITION. AT THE CONTRACTOR'S EXPENSE, ARCHITECTURAL PLANS FOR PROPOSED LOCATION OF UTILITY SERVICE STAIRS AT BUILDING THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRICAL). FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.
- ALL CEMENT LINED DUCTILE IRON JOINTS AT FITTINGS (CLASS 52) VALVES, AND HYDRANT LATERALS SHALL BE MECHANICAL JOINT WITH NEOPRENE GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH ON TYPE WITH NEOPRENE OR SYNTHETIC RUBBER GASKETS. ALL WATER GATES SHALL OPEN AS PER CITY REQUIREMENTS. ALL WATER LINES SHALL HAVE A MINIMUM OF 30" DEPTH OF GROUND.

NOTE:
FINAL WATER SERVICES TO BE SIZED
BY PLUMBING ENGINEER AND FIRE
PROTECTION ENGINEER

HYDRANT LOCATION NOTES

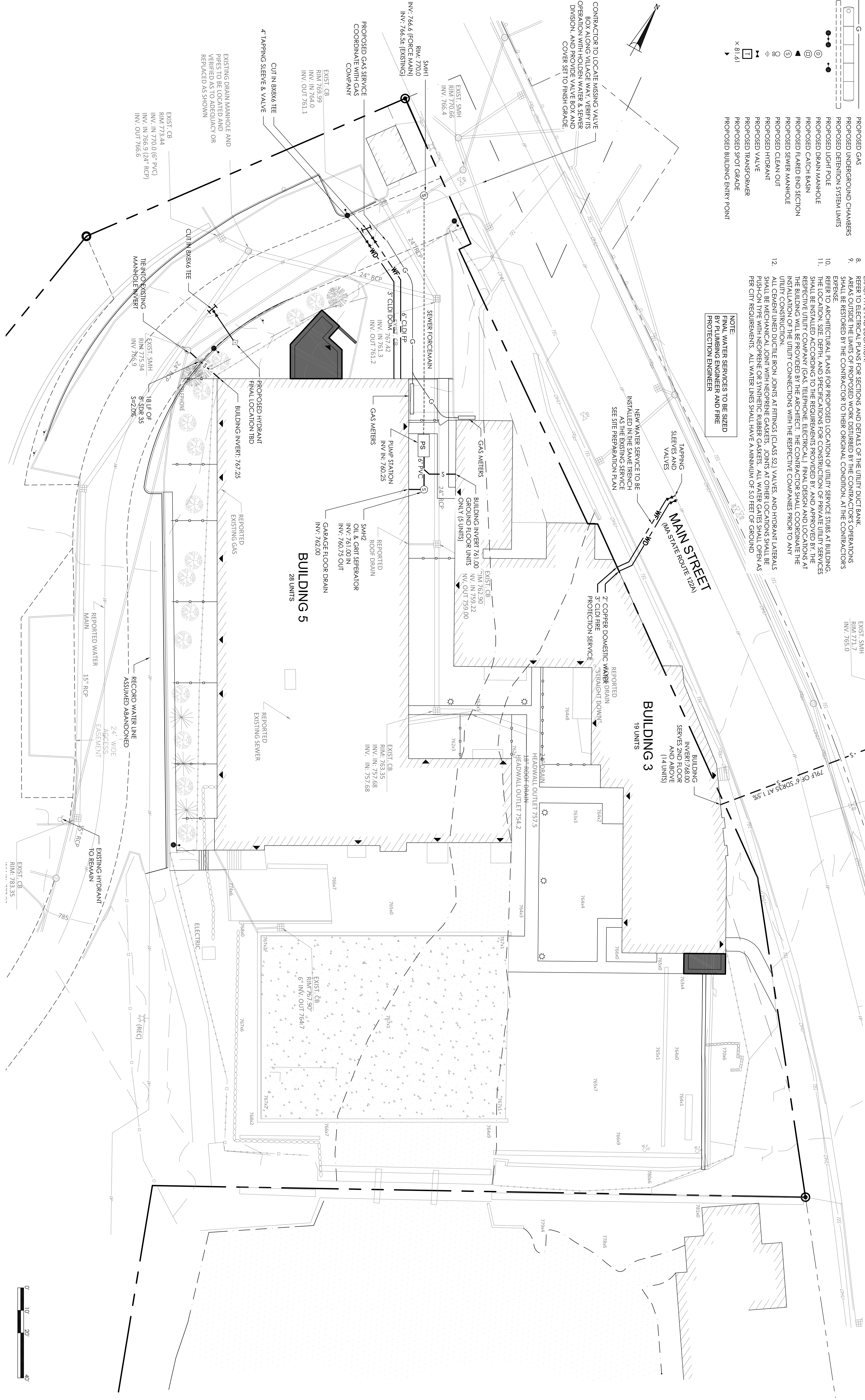
- FINAL FIRE HYDRANT LOCATIONS SHALL BE AS DIRECTED BY THE HOLDEN FIRE DEPARTMENT AND INCORPORATED INTO AN OVERALL SPRINKLER AND FIRE PROTECTION DESIGN.
- AT A MINIMUM, HYDRANTS SHALL BE LOCATED WITHIN 100-FEET OF A BUILDING SPRINKLER CONNECTION.

WATER SERVICE NOTES

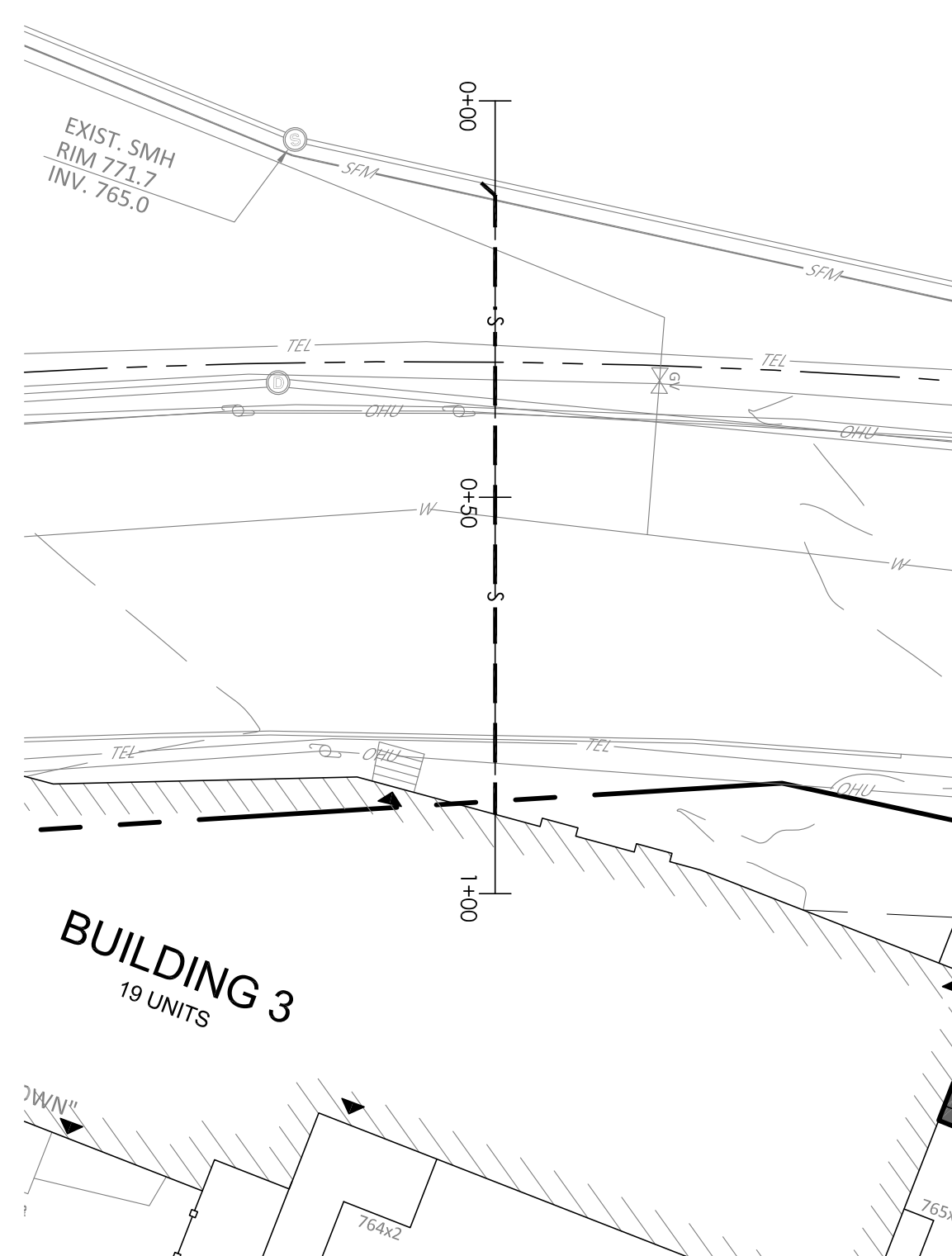
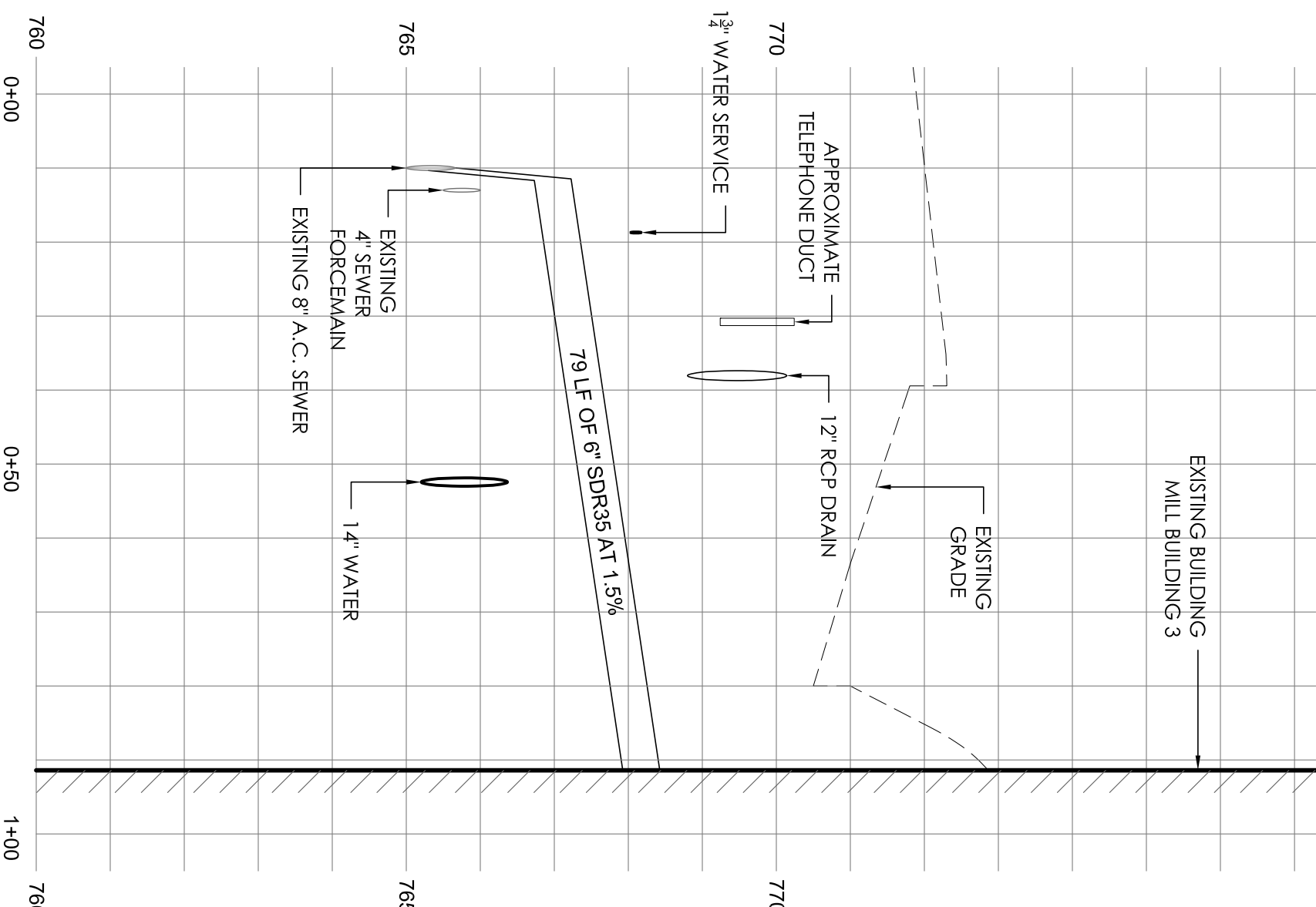
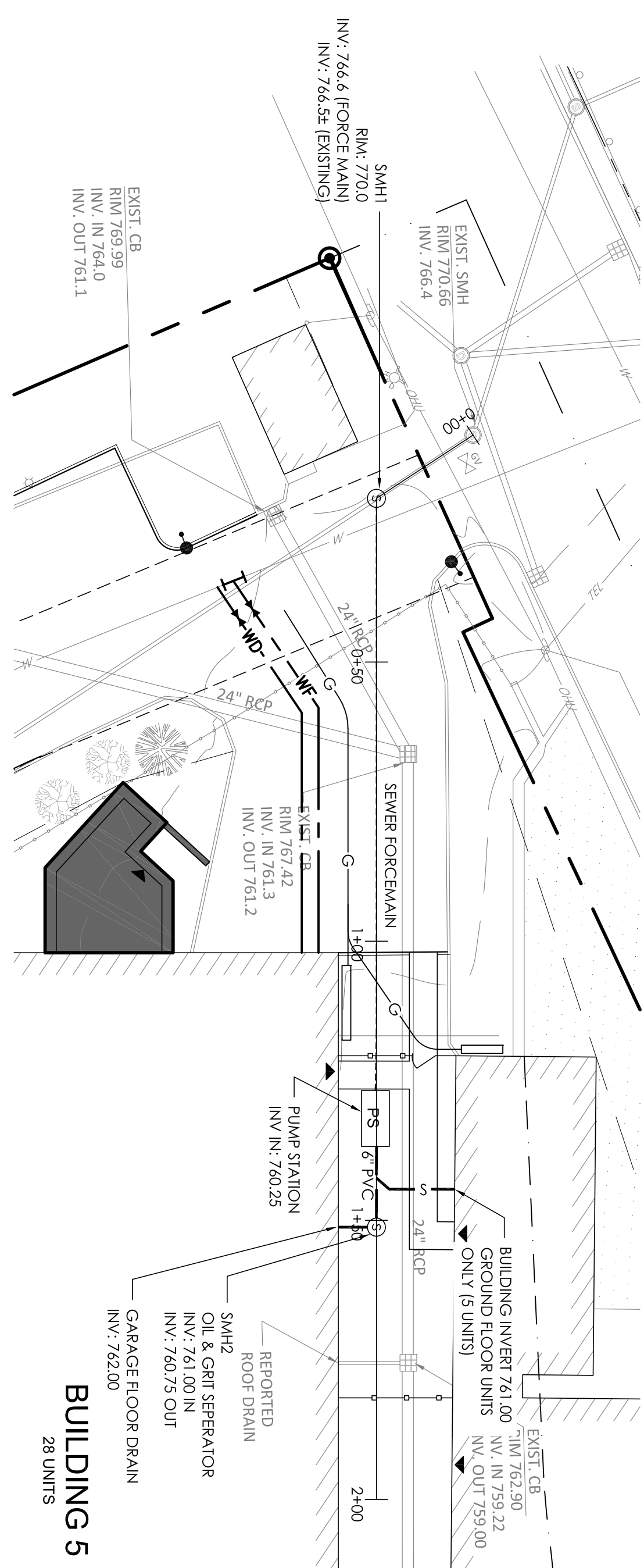
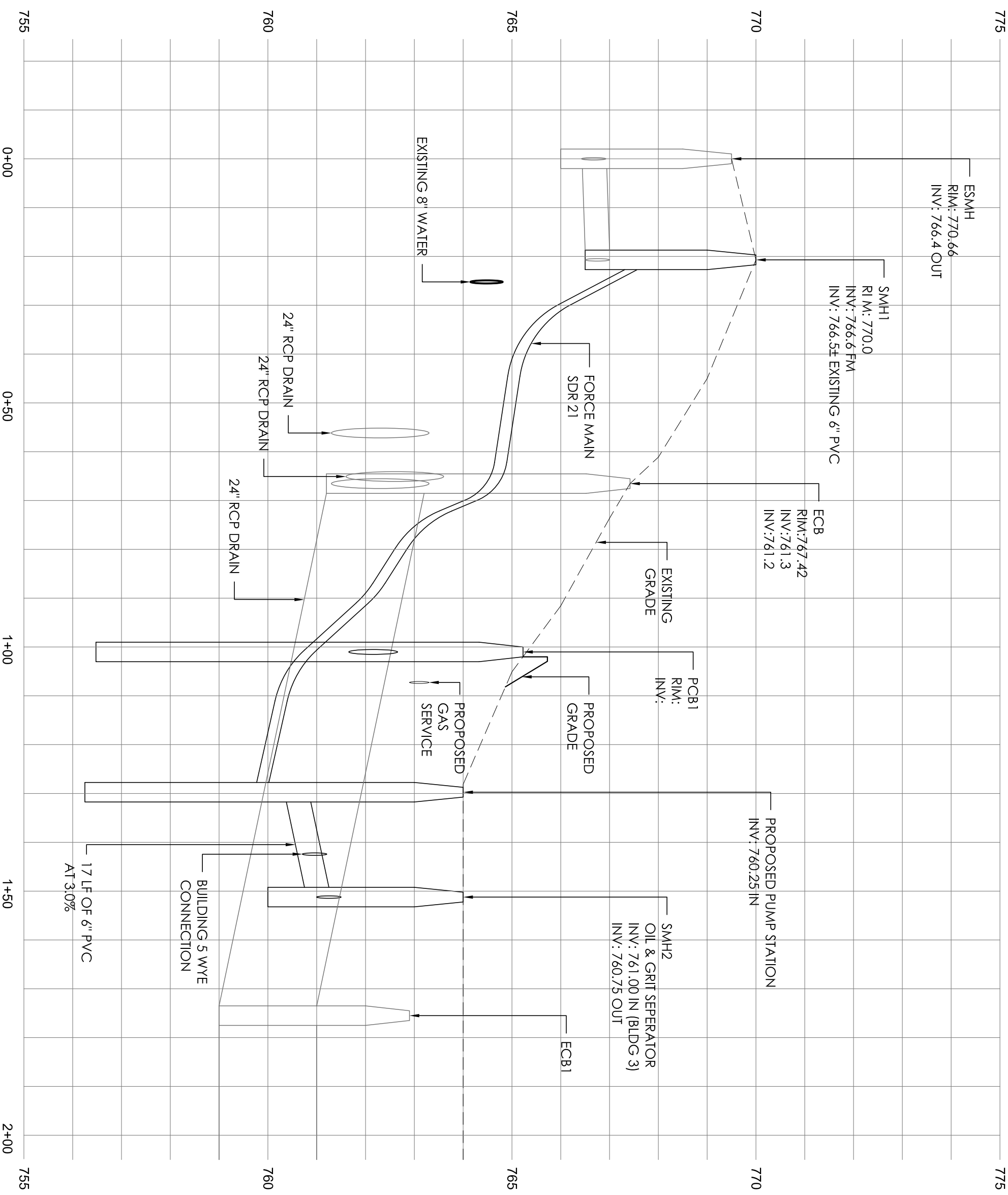
- THE DOMESTIC WATER METERS SHALL BE SIZED APPROPRIATELY BY THE PLUMBING ENGINEER FOR THE DEMAND OF THE BUILDING. BACKUP HOODWAY PIPES FOR THE BUILDING SHALL BE PROVIDED TO THE HOLDEN FIRE DEPARTMENT PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- BACKFLOW DEVICES SHALL BE PROVIDED AS REQUIRED BY HOLDEN WATER & SEWER. DESIGN INFORMATION ON THE DEVICES SHALL BE PROVIDED TO HOLDEN WATER & SEWER PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

AS-BUILT NOTES:

- CONTRACTOR SHALL SUPPLY AS-BUILT PLANS FOR ALL UTILITY CONNECTIONS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL TESTING OF WATER AND SEWER CONNECTIONS AND PROVIDE WRITTEN RESULTS OF TESTING FOR RECORD PURPOSES.



ISSUED FOR SITE PLAN REVIEW JANUARY 29, 2021		PROJECT: JEFFERSON MILL REDVELOPMENT 1665 MAIN STREET, HOLDEN, MA		CONSULTANT: PVI SITE DESIGN PVI Site Design, LLC Civil Engineering - Land Entitlements Master Planning - Project Management 339-206-1030	
UTILITY PLAN		CLIENT / APPLICANT: NORTH VILLAGE LOFTS, LLC 35 NORWOOD AVE NEWTON, MA 02459			
SCALE: AS NOTED		REV.: 1: 03-29-2021 DPW AND P.B. COMMENTS			
JOB NO.: 21-001					
FILE: 21-001-UTILITY.dwg					
DRAWN: TJP					
CHECKED: TJP					
SHEET NO.: C103					



1 PROFILE 1
SCALE: H: 1"=50', V: 1"=2'

2 PROFILE 2
SCALE: H: 1"=50', V: 1"=2'

CONSULTANT:

PVI
SITE DESIGN
PVI Site Design, LLC
Civil Engineering - Land Entitlements
Master Planning - Project Management
339-206-1030

PROJECT:

JEFFERSON MILL REDVELOPMENT
1665 MAIN STREET, HOLDEN, MA

CLIENT / APPLICANT:

NORTH VILLAGE LOFTS, LLC
35 NORWOOD AVE
NEWTON, MA 02459

REV.:

1: 03-29-2021	DPW AND P.B. COMMENTS

SEAL:

ISSUED FOR SITE PLAN REVIEW
JANUARY 29, 2021

SEWER PROFILES

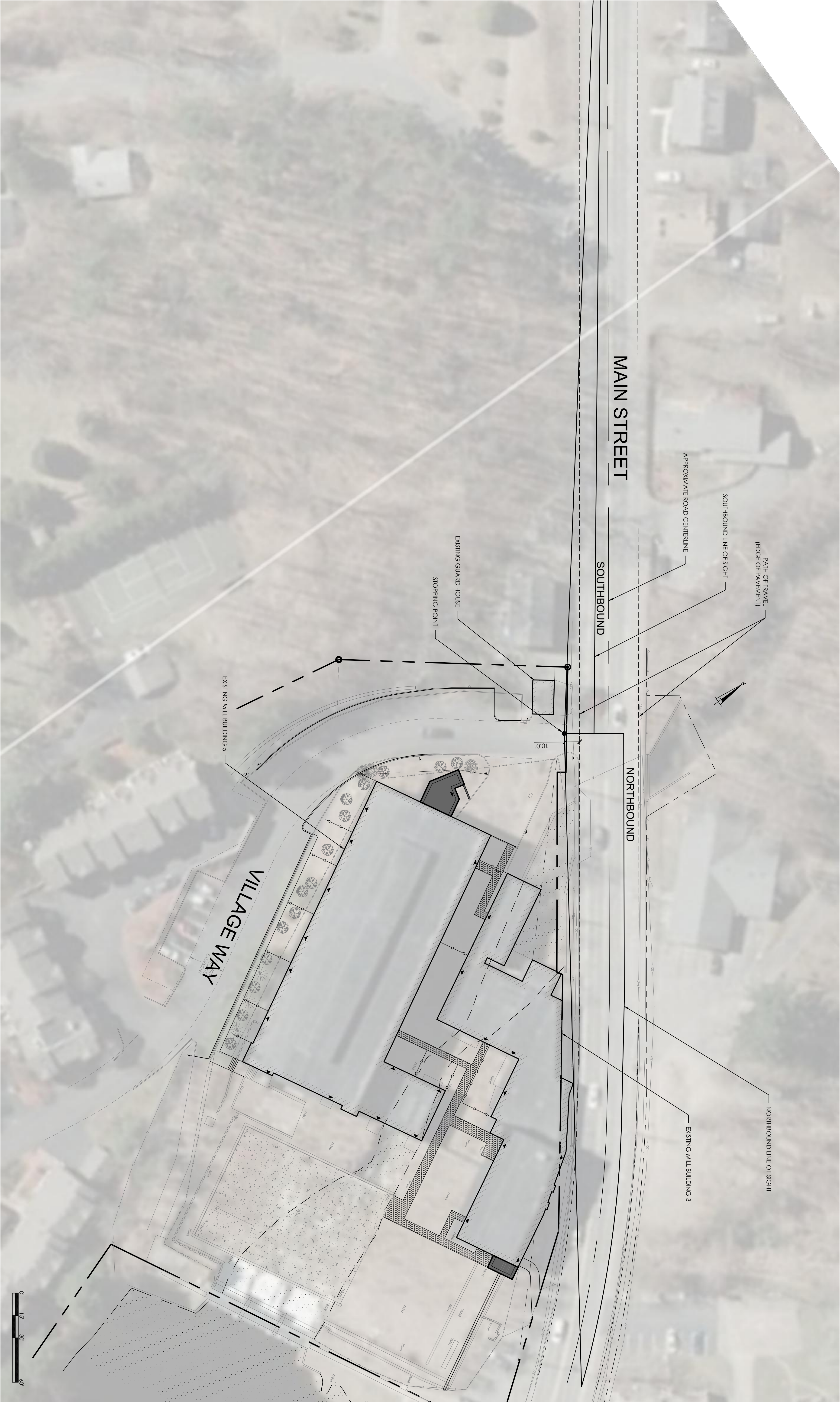
SCALE:	AS NOTED
JOB NO.:	21-001
FILE:	21-001-UTILITY.dwg
DRAWN:	TJP
CHECKED:	TJP
SHEET NO.:	

C104



NOTES:

- STOPPING SITE DISTANCE (SSD) BASED ON TECHNICAL MEMORANDUM PREPARED BY HOWARD STEIN HUDSON ON FEBRUARY 20, 2021. ACTUAL DISTANCES ARE AS FOLLOWS:
- NORTHBOUND: 440 FEET
 - SOUTHBOUND: 650 FEET



CONSULTANT:



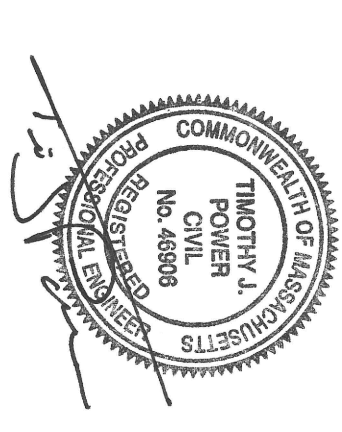
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SEAL:



REV.:

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LINE OF SITE

SCALE: AS NOTED

JOB NO. 21-001

FILE: 21-001_LOS_FIGURE.dwg

DRAWN: TJP

CHECKED: TJP

SHEET NO.

C203