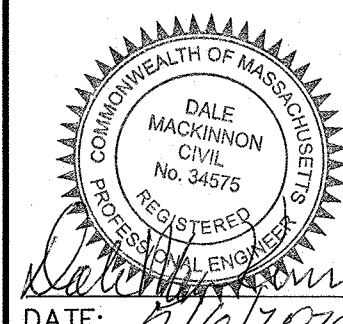
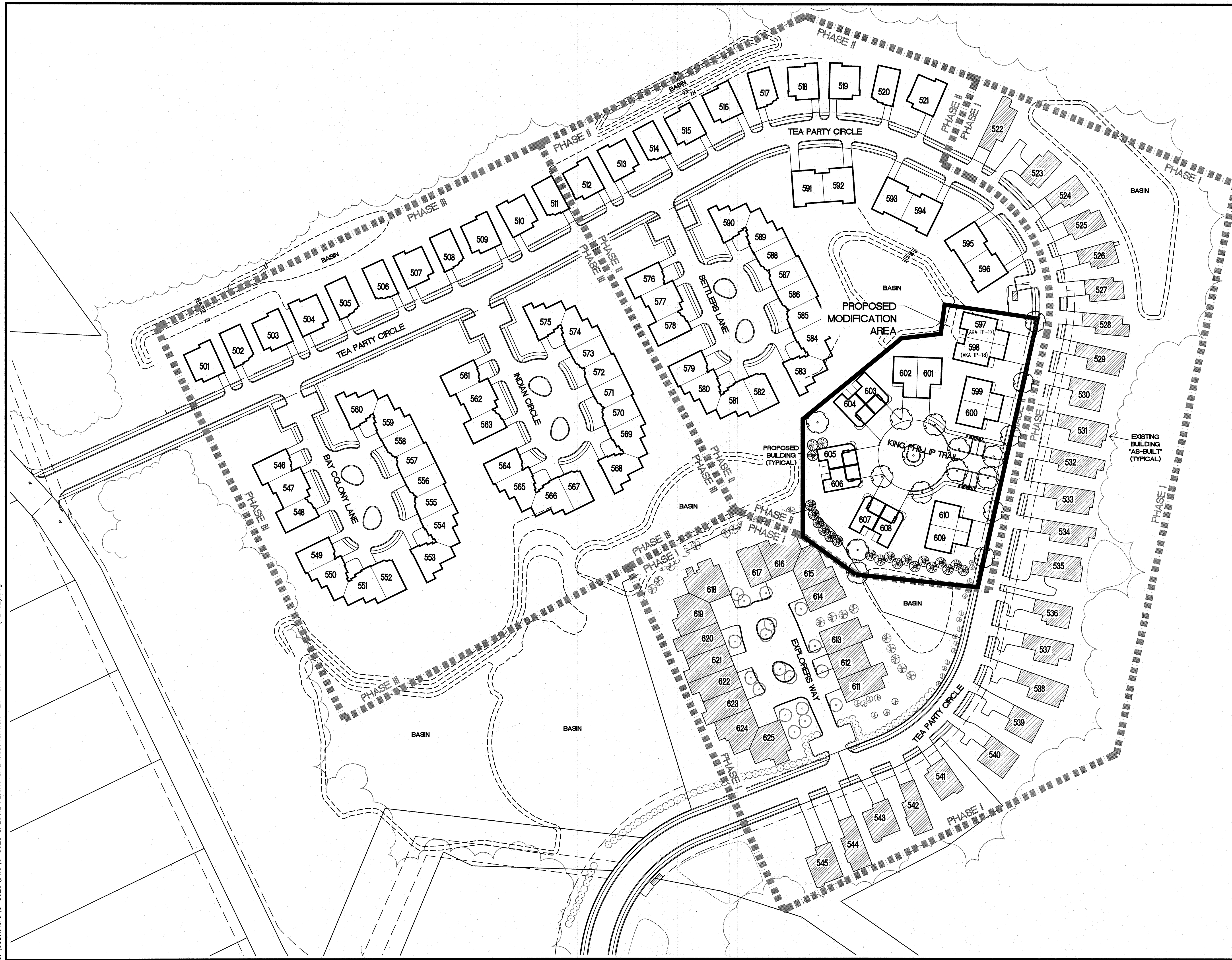


G:\CDM\Hillford\G-8928 DWG\G-8928 SPECIAL PERMIT SITE MODIFICATION PLAN SHT 1 OF 3 (REV02).dwg



DATE: 01/07/2020

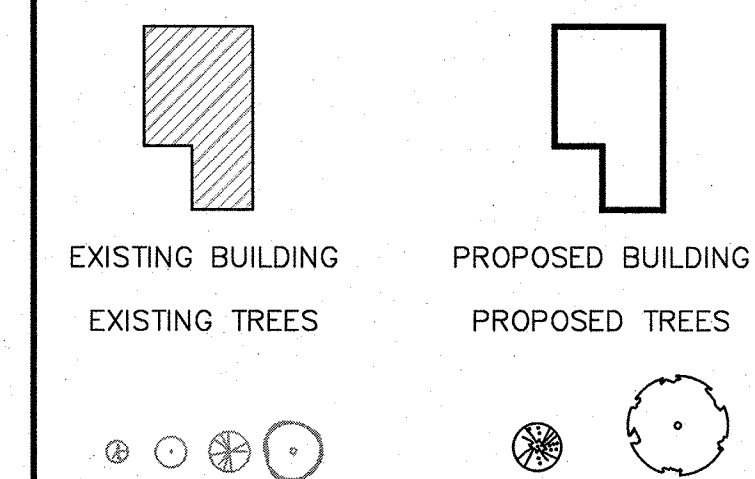
CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

"WARNING" EXISTING UTILITY LINES INDICATED OR NOTED ON THESE DRAWINGS ARE SHOWN AS ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED IN WORKING IN THESE AREAS. CALL "DIG SAFE" 1-888-DIG-SAFE (1-888-344-7233). EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

#### NOTES

1. PLAN PROPOSES MODIFICATION TO THE BUILDING AND ASSOCIATED ROADWAY/UTILITY CONFIGURATION FOR UNITS 597-610 ONLY.
2. REFERENCE IS MADE TO PLANNING BOARD NOTICE OF DECISION - SPR-0207-SITE PLAN REVIEW SPECIAL PERMIT AND PLAN REFERENCE SITE PLAN LAST REVISED DATE AUGUST 25, 2003, ENTITLED "THE TRULSON PROPERTY OF HOLDEN, MA., 25 SHEETS.
3. REFERENCE IS MADE TO A PLAN ENTITLED: SEWER EXTENSION PERMIT PLAN FOR "SANCTUARY" AT HOLDEN IN HOLDEN, MASSACHUSETTS. OWNER: TRULSON REAL ESTATE CORP. APPLICANT: FAFARD REAL ESTATE AND DEVELOPMENT CORP. PREPARED BY: BENCHMARK ENGINEERING CORP. DATE: 17 SEPTEMBER 2003 REVISED: 20 FEBRUARY 2004
4. REFERENCE IS MADE TO THE FOLLOWING PLANS RECORDED AT THE WORCESTER DISTRICT REGISTRY OF DEEDS:  
PLAN BOOK 904 PLAN 93  
PLAN BOOK 885 PLAN 121  
PLAN BOOK 884 PLAN 48  
PLAN BOOK 878 PLAN 121  
PLAN BOOK 847 PLAN 17  
PLAN BOOK 829 PLAN 89  
PLAN BOOK 808 PLAN 2

#### LEGEND



#### OWNER

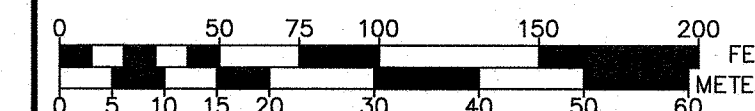
NEWELL ROAD REALTY, LLC  
120 QUARRY DRIVE  
MILFORD, MA 01757

MODIFICATION PLAN FOR  
SITE PLAN SPECIAL PERMIT  
AT  
**WESTMINSTER PLACE**  
NEWELL ROAD  
IN  
**HOLDEN, MA**

DATE MARCH 31, 2020

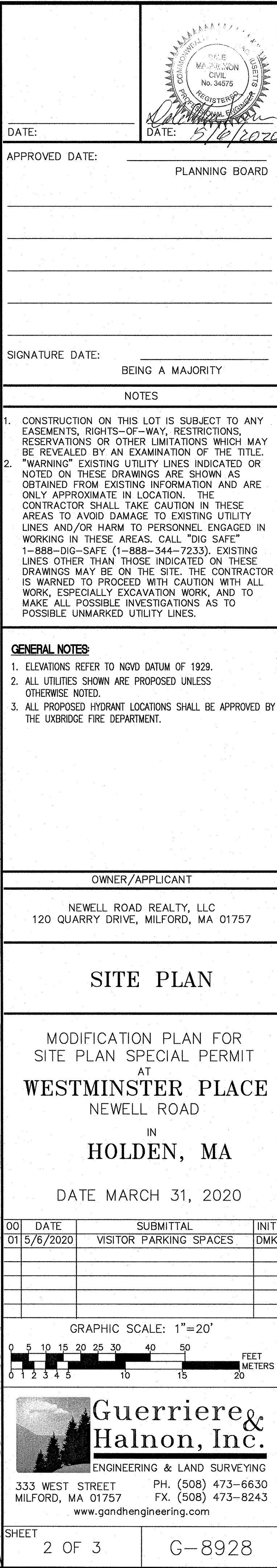
00	DATE	INITIAL SUBMITTAL	INIT
01	5/6/2020	VISITOR PARKING SPACES	DMK

GRAPHIC SCALE: 1"=60'



**Guerriere & Halnon, Inc.**  
Engineering & Land Surveying  
333 WEST STREET, MILFORD, MASS. 01757  
(508) 473-6630 FAX: (508) 473-8243  
www.gandhengineering.com



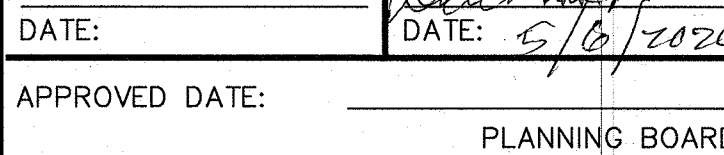






### LEGEND

----	SILT FENCE
—S—	SEWER LINE
—W—	WATER LINE
□	CATCH BAIN
⊗	SEWER MANHOLE
—##—	EXISTING GRADE
— <b>##</b> —	PROPOSED GRADE



SIGNATURE DATE: \_\_\_\_\_  
BEING A MAJORITY

1. CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

2. ANY EXISTING EASEMENTS INDICATED OR NOTED ON THESE DRAWINGS ARE SHOWN AS OBSAINED FROM EXISTING INFORMATION AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE CAUTION IN THESE AREAS TO AVOID ANY EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED IN WORKING IN THESE AREAS. CALL "DIG SAFE" 1-888-DIG-SAFE (1-888-344-7233). EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY IN CAUTION ZONE, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

1. ELEVATIONS REFER TO NGVD DATUM OF 1929.
2. ALL UTILITIES SHOWN ARE PROPOSED UNLESS OTHERWISE NOTED.
3. ALL PROPOSED HYDRANT LOCATIONS SHALL BE APPROVED THE UXBRIDGE FIRE DEPARTMENT.

NEWELL ROAD REALTY, LLC  
120 QUARRY DRIVE, MILFORD, MA 01757

MODIFICATION PLAN FOR  
SITE PLAN SPECIAL PERMIT  
AT  
**WESTMINSTER PLACE**  
NEWELL ROAD  
IN  
**HOLDEN, MA**

00	DATE	SUBMITTAL	IN
01	5/6/2020	SNOW STORAGE & VISITOR PARKING SPACES	D



SHEET 3 OF 3	G-8928
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